


**CITY OF HOLLYWOOD, FLORIDA
INTER-OFFICE MEMORANDUM
OFFICE OF PLANNING AND DEVELOPMENT SERVICES**

DATE: April 12, 2012

FILE: 11-DPSV-32

TO: Planning and Development Board

VIA: Jaye M. Epstein, AICP, Director 

FROM: Mariluz Maldonado, Planning and Development Services Administrator 

SUBJECT: Belle Center LLC c/o Mark E. Fried requests a Special Exception, Variances, Design and Site Plan approval for an approximate 3,000 sq. ft. addition to an existing building and associated site improvements at 6117 Hollywood Boulevard. (NAPA shopping center)

APPLICANT'S REQUEST

Special Exception to accommodate an accessory parking lot in a multi-family zoning (RM-12) district.

Variances, Design and Site Plan approval for an approximate 3,000 sq ft addition to a shopping center.

Variance 1: Waive the required 67 parking spaces to provide 59.

Variance 2: Waive the required loading space.

STAFF'S RECOMMENDATION

Special Exception: Approval.

Variances: Approval, if Special Exception is approved with the following conditions:

- All future proposed uses on the property be limited to Commercial Uses including take out restaurants only with no seating areas.

Design: Approval, if Special Exception and Variances are granted.

Site Plan: Approval, if Special Exception and Variances are granted with the following conditions:

- Proposed Red Maple Trees on the north property line be replaced with a native, non deciduous hardwood tree.
- Improvements as per the provided plans dated 3/15/2012 showing landscaping, building improvements, painting, paving, etc. must be completed before obtaining a C/O or C/C for the building addition.
- A Unity of Title, in a form acceptable to the City Attorney's Office, must be submitted prior to the issuance of any Building Permits and recorded in the Public Records of Broward County prior to the issuance of Certificate of Occupancy (C/O).

BACKGROUND

The applicant is requesting a Special Exception, Variances, Design and Site Plan approvals for construction of an approximate 3,000 sq ft addition to the existing NAPA shopping center on Hollywood Boulevard located just west of 441. The site contains one, one-story building which will remain. The existing shopping center is situated closer to NW 61st Terrace and is approximately 12,000 sq ft. with a 57 space parking lot with no loading spaces. The adjacent properties consist of residential residences to the north, commercial uses to the south, east and west. The applicant worked with staff to reduce the amount of requested Variances for the proposed development. Also, the applicant met with the immediate neighbors to the north to address any concerns and will provide an update at the Board meeting.

The addition is proposed to the east of the existing building which results into eliminating 10 parking spaces. The new building area will be proposed to accommodate 3 new tenant spaces. The design of the addition will be Contemporary and will be compatible with existing buildings. The existing shopping center building is proposed to be painted and a new colonnade will be added to help carry the more modern design of the addition throughout the shopping center. Proposed paint colors will enhance the development while increasing articulation and helping create a focal point to the shopping center. The site offers ingress and egress via N.W. 61st Terrace, N.W. 61st Avenue and Hollywood Boulevard. Parking is located along Hollywood Boulevard and the applicant is proposing to provide additional spaces at the rear of the building. The required landscape buffers, open space requirements and trees are being provided. The applicant is incorporating native shrubs and trees to meet the requirements. However, in an effort to help provide safeguards to ensure the required residential landscape buffers are provided all year round, the proposed improvements are completed and the development is tied together, staff is recommending the site plan be approved with conditions.

Also, a Special Exception is being requested to develop the vacant parcel to the north of the property into an accessory parking lot with 12 parking spaces. The zoning of this vacant lot is multi-family (RM-12) which allows for parking lots to be established via Special Exception. In addition to parking this parcel will accommodate a new dumpster. The site will also comply with the required residential buffers to develop this vacant property.

Additionally, a Variance to reduce the amount of required parking and loading spaces is also being requested. As previously mentioned, a new parking lot to the north of the property is being added which will provide 12 new parking spaces. However, based on the parking requirements for shopping centers (1/220 sq ft) the overall strip mall (14,533 sq ft) will be required to provide 66 parking spaces. Instead, the applicant is providing 59 spaces, thereby necessitating a Variance. Also, based on the size of the building (including the addition) the development will be required to provide 1 loading space. However, as indicated by the applicant the site currently does not provide loading spaces and delivery trucks have been utilizing standard parking spaces. The applicant also indicated it has not been a problem in the past and doesn't foresee it being a problem in the future. Therefore, they are requesting the Variance to waive the required loading space. Now, due to the reduction of parking and loading spaces and in order to ensure high traffic generator uses such as sit down restaurants are not established at this location, staff is recommending the Variance be approved with the condition that all future proposed uses on the property be limited to Commercial Uses including take out restaurants only with no seating areas.

SITE INFORMATION

Owner/Applicant: Beile Center LLC c/o Mark E Fried /Joseph B. Kaller and Associates
Address/Location: 6117 Hollywood Boulevard
Net Size of Property: 44,049 sq ft (1.01 acres)
Present Zoning: Medium High Intensity Commercial (C-4)/ State Road 7 Commercial Corridor District – Commercial Core Sub Area (SR7 CCD-CC)/Multiple Family (RM-12)
Future Land Use: Transit Oriented Corridor (TOC)
Existing Use of Land: Shopping Center

ADJACENT ZONING

North: Multi-Family District (RM-12)
South: Commercial Corridor District-Commercial Core Sub Area (SR7-CCD-CC)/ C-4
East: Commercial Corridor District-Commercial Core Sub Area (SR7-CCD-CC)/ C-4
West: Commercial Corridor District-Commercial Core Sub Area (SR7-CCD-CC)/ C-4

ADJACENT LAND USE:

North: Transit Oriented Corridor (TOC)
South: Transit Oriented Corridor (TOC)
East: Transit Oriented Corridor (TOC)
West: Transit Oriented Corridor (TOC)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The goal of the Land Use Element is to promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing landowners to maximize the use of their property. The proposed addition will allow the applicant to expand while attracting new tenants which will provide different commercial uses to the surrounding community. The proposed addition will be compatible with the uses of the surrounding properties while enhancing the existing environment.

The proposed building addition is consistent with Comprehensive Plan based upon the following:

- ❖ **Goal:** “Promote a distribution of land uses that will enhance and improve the residential, business, resort, and natural communities while allowing land owners to maximize the use of their property”.
- ❖ **Objective 4:** “Maintain and enhance neighborhoods, business, utilities, industrial and tourist areas that are not blighted”.

The project is located within the General Business Land Use. The main purpose of this land use designation is to facilitate commercial/retail development. This land use encourages the mix of uses in an area in order to provide all types of services within a neighborhood. The proposed addition will help accommodate continued growth of an existing and needed service in the community. The proposed improvements in order to accommodate the request will help improve existing conditions while allowing the land owners to maximize the use of their property.

CONSISTENCY WITH THE CITYWIDE MASTER PLAN

The proposed development is located in Sub-Area 1, the US 441/SR 7 Corridor, which is defined by 56th Avenue to the east (including that portion of Washington Park that extends to 52nd Avenue), the Dania Cut-Off Canal to the north, Florida's Turnpike to the west and Pembroke Road to the south. The residential area in which the subject property is located is Beverly Park.

Proposed building addition is consistent with City-Wide Master Plan based upon the following:

Guiding Principle: Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.

Guiding Principle: Create and maintain a safe environment and eliminate the perception of crime.

Guiding Principle: Promote the highest and best use of land in each sector of the City without compromising the goals of the surrounding community.

Guiding Principle: Attract and retain businesses that will increase economic opportunities for the City while enhancing the quality of life of residents.

The request to accommodate the approximately 3,000 sq ft to the existing NAPA Shopping center located along Hollywood Boulevard. New businesses and development and re-development help expanding the growth of needed services. However, development as such needs to take into consideration the surrounding properties and making the necessary improvements in order to help mitigate any possible impacts which may occur. Moreover, the building addition will accommodate future services to the residents and the workforce in the neighborhood.

ANALYSIS OF SPECIAL EXCEPTION CRITERIA

As stated in the City of Hollywood's Zoning and Land Development Regulations, Article 5. In considering a petition for a Special Exception, Approval, Approval with Conditions, or Denial will be based on the criteria below.

CRITERIA 1: The proposed use must be consistent with the principles of the City's Comprehensive Plan.

ANALYSIS: As previously mentioned the intent of the Land Use Element is to lay out the physical plan for future redevelopment while promoting the highest and best use for each property. The project is located within the General Business Land Use. The main purpose of this land use designation is to facilitate commercial/retail development. This land use encourages the mix of uses in an area in order to provide all types of services within a neighborhood. The proposed addition will help accommodate continued growth of an existing and needed service in the community. The proposed improvements in order to accommodate the request will help improve existing conditions while allowing the land owners to maximize the use of their property.

The applicant refers to Policy 3.1.3 of the Land Use Element which encourages smaller businesses which service the neighborhoods;

however, the intent of this policy is to encourage the continued existence of small restaurants, personal services, recreational and retail services. This is reiterated in Objective 5 which encourages *appropriate infill redevelopment in blighted areas throughout the City and economic development in blighted business and tourist areas by promoting improved architectural and streetscape design standards, code enforcement, economic development, neighborhood planning, and public information dissemination*. They also make mention of "improving visual qualities even when undertaking building rehabilitation", which the proposed development has taken into consideration.

FINDING: Consistent.

CRITERIA 2: **The proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties within the vicinity.**

ANALYSIS: The existing land use pattern along Hollywood Boulevard consists of a mixed variety of other small business located in dated strip plazas and stand-alone buildings. The proposed retail bay addition will help enhance a existing strip mall while incorporating room to allow for new businesses. However, the proposed parking lot on the rear (north) of the property is not an allowed primary use within a multi-family district. Granting of the Special Exception to allow the parking lot will help this retail plaza grow while remaining compatible with the surrounding existing environment

FINDING: Consistent.

CRITERIA 3: **That there will be provisions for safe traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.**

ANALYSIS: The parcel currently provides a sidewalk along 3 sides for easy pedestrian access. These sidewalks connect or provide access to the colonnade the applicant is proposing. The parking lot in the front will remain as it exists except the applicant is proposing to bring this area up to code with regards to landscaping and hedging. There will continue to be two-way access from NW 61st Avenue and NW 61st Terrace. As previously mentioned, the Special Exception is required to allow the applicant to establish an accessory use parking lot on the rear of the property to serve the shopping center. The lot is being developed in accordance with the Code requirements. This parcel has been designed in a manner that will not be detrimental to the adjacent residential neighborhood.

FINDING: Consistent.

CRITERIA 4: **That there are setbacks, buffering, and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances.**

ANALYSIS: The parking lot setbacks requirements are being met. Also, the applicant is meeting the required buffer when adjacent to residential and a dense hedge will be added. As part of the improvements, additional buffering

materials which include a 4' tall wall that extends to 6' for that portion of the property zoned commercial. Also, hedging will be added throughout the site. Moreover, the applicant is proposing to significantly increase the quality and quantity of landscaping on the site, with special attention to the north boundary was given.

FINDING: Consistent.

CRITERIA 5: **The proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses.**

ANALYSIS: The proposed parking lot is an accessory use to both the existing and proposed retail bays. Allowing the parking lot to be constructed should not be detrimental to the areas or the surrounding properties since the applicant will be providing the required wall and hedge to help buffer these areas.

FINDING: Consistent.

CRITERIA 6: **The subject parcel must be adequate in shape and size to accommodate the proposed use.**

ANALYSIS: The proposed development is adequate for the parcel. Staff has worked with the applicant worked to eliminate the need for additional Variances. As such, the development meets code and proposes redevelopment and improvement to a shopping center directly fronting the Hollywood Boulevard corridor. As a result, the proposed improvements result into beautification and development of a vacant parcel.

FINDING: Consistent.

CRITERIA 7: **The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the zoning classification in which such use is proposed to be located, and all other requirements for such particular use set forth elsewhere in the zoning code, or otherwise adopted by the City Commission.**

ANALYSIS: A Special Exception is defined as a use not generally appropriate in a district, but would be if it is found to be compatible with the surrounding community. In some instances those conditions surrounding the proposed use yield compatibility; however, at other times there may be special measures which need to be taken in order to achieve this same result.

The proposed parking lot is an accessory use to the existing and proposed retail bays. This use is not found to be detrimental to the adjacent properties as it is allowing for new development to happen while incorporating additional beautification components to the overall site.

FINDING: Consistent.

ANALYSIS OF VARIANCE CRITERIA

The following criteria are listed in the Zoning and Land Development Regulations Article 5 and are utilized in evaluating Variances:

VARIANCE 1: Waive the required 67 parking spaces to provide 59.
VARIANCE 2: Waive the required loading space.

CRITERIA A: That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City.

ANALYSIS: A Variance is being requested to reduce the required parking for the shopping center. The Variance is needed because as previously mentioned, the applicant is losing required parking spaces as part of the addition. Although a rear parking lot is being added to help mitigate, the applicant was unable to provide all required spaces.

Also, based on the size of the building (including the addition) the development will be required to provide 1 loading space. However, as indicated by the applicant the site currently does not provide loading spaces and delivery trucks have been utilizing standard parking spaces. The also indicated it has not been a problem in the past and don't foresee it been a problem in the future. Therefore, they are requesting the Variance to waive the required loading space.

Now, due to the reduction of parking and loading spaces and in order to ensure high traffic generator uses such as a sit down restaurants are not established at this location, ***staff is recommending the Variance be approved with the condition that all future proposed uses on the property be limited to Commercial Uses including take out restaurants only with no seating areas.***

FINDING: Consistent, with the imposition of staff's condition.

CRITERIA B: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: Although the applicant is making an effort to provide additional parking for the shopping center uses by developing a new parking lot, the required parking and loading spaces are not being provided. Although existing commercial uses on adjacent properties may have limited parking on site, the applicant is proposing to expand the shopping center footprint while incorporating new uses. Furthermore, as indicated by the applicant the site currently does not provide loading spaces and delivery trucks have been utilizing standard parking spaces. The also indicated it has not been a problem in the past and don't foresee it been a problem in the future. Therefore, they are requesting a Variance to also waive the required loading space.

FINDING: Consistent.

CRITERIA C: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive

Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the city.

ANALYSIS: The proposed project is located in the General Business Land Use area. The goal of the Land Use Element is to "promote a distribution of land uses to enhance and improve the residential, business, resort and natural communities while allowing land owners to maximize the use of their property." The proposed development brings an opportunity to improve the property while increasing the potential for new/increased patronage to the shopping center and surrounding businesses.

FINDING: Consistent.

CRITERIA D: **That the need for the requested Variance is not economically based or self-imposed.**

ANALYSIS: As indicated by the applicant, "The requested Variance is not based on an economic or self imposed situation, but rather on a practical assessment of the area since massing, scale and presence of the building facing Hollywood Boulevard would help improve and redevelop and area that has been stagnant.

FINDING: Consistent.

CRITERIA E: **That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.**

ANALYSIS: N/A

FINDING: N/A

ANALYSIS OF CRITERIA AND FINDINGS FOR DESIGN REVIEW

Analysis of Criteria and Findings for Design Review as stated in the City of Hollywood Zoning and Land Development Regulations, Article 5. Approval, Approval with Conditions, or Denial will be based on the following criteria:

CRITERIA A: **Architectural and Design Component. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment**

ANALYSIS: The overall design of the addition seeks to upgrade and incorporate the existing building façade on the property in effort to create a unified look. The design, materials, and colors for the building addition are compatible with the Design Review Manual as well as abutting properties. The applicant has selected colors, accents and decorative features to compliment the design while adding articulation.

The proposed building height is approximately 26' to the parapet which is under the maximum height of 175' allowed in C-4 zoning. The new

building area will proposed to accommodate 3 new tenant spaces. The design of the addition will be Contemporary and will be compatible with existing buildings. The existing shopping center building is proposed to the painted and a new colonnade will be added help carry the more modern design of the addition throughout the shopping center. Proposed paint colors will enhance the development while increasing articulation and helping creating a focal point to the shopping center.

The proposed changes will help revamp the design of a shopping center along Hollywood Boulevard's major corridor between the Turnpike and State Road 7. As stated by the applicant, "The addition features a colonnade that has flared columns with large sconces. This colonnade will continue in front of the building in order to add weight and significance to the dated facade".

FINDING: Consistent.

CRITERIA B: **Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.**

ANALYSIS: "The neighborhood is made of buildings built in the 1960's and 70's and lack of significant architectural features", as provided by the applicant. The proposed one story building addition is compatible and relates to the height of the abutting buildings. Building design and colors distinguishes itself from adjacent buildings in terms of articulation and building height; however, the building maintains the rhythm, characteristics and setbacks of neighboring buildings. The addition will be approximately 3,000 sq ft and will allow the applicant to expand an exiting service in the community.

FINDING: Consistent.

CRITERIA C: **Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.**

ANALYSIS: "The buildings addition was massed in a way as to give prominence to the corridor'. This corner was made taller while stepping down to allow movement and interest", as provided by the applicant. The design of the addition will be Contemporary and will be compatible with existing buildings. The existing shopping center building is proposed to the painted and a new colonnade will be added help carry the more modern design of the addition throughout the shopping center. The Manual also suggests *paint color should be used to highlight architectural forms and details*. Proposed paint colors will enhance the development while

increasing articulation and helping creating a focal point to the shopping center.

The materials to be used on the new building include stucco and glass are consistent with the Design Manual's suggestion for *surface materials [that are] compatible with the South Florida region including stucco, tile, clear glass, oolitic limestone, etc.*

FINDING: Consistent.

CRITERIA D: **Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.**

ANALYSIS: The site provides minimal landscaping materials; however, the applicant is proposing to improve the existing parking lot to incorporate additional vegetation. The new parking lot at the rear will be designed to provide the required amount of trees, hedging and 4' wall. The existing parking lot along Hollywood Boulevard is also being upgraded by adding new shrubs and trees. Also, all existing trees will remain, as provided by the applicant.

FINDING: Consistent.

SITE PLAN

A Final Site Plan was reviewed by the Technical Advisory Committee (TAC) and comments were made by members of the TAC in a staff report dated August 1, 2011. The comments were addressed by the applicant, who then obtained the signature of each TAC member signifying the Site Plan's compliance with all regulations as set forth in Chapter 162 of the Hollywood Code of Ordinances. However, since the development will be located in several lots and in order to unify the development, staff has placed the following conditions:

- Proposed Red Maple Trees on the north property line be replaced with a native, non deciduous hardwood tree.
- Improvements as per the provided plans dated 3/15/2012 showing landscaping, building improvements, painting, paving, etc. must be completed before obtaining a C/O or C/C for the building addition.
- A Unity of Title, in a form acceptable to the City Attorney's Office, must be submitted prior to the issuance of any Building Permits and recorded in the Public Records of Broward County prior to the issuance of Certificate of Occupancy (C/O).

STAFF'S RECOMMENDATION

Special Exception: Approval.

Variances: Approval, if Special Exception is approved with the following conditions:

- All future proposed uses on the property be limited to Commercial Uses including take out restaurants only with no seating areas.

Design: Approval, if Special Exception and Variance are granted.

Site Plan: Approval, if Special Exception and Variance are granted with the following conditions:

- Proposed Red Maple Trees on the north property line be replaced with a native, non deciduous hardwood tree.
- Improvements as per the provided plans dated 3/15/2012 showing landscaping, building improvements, painting, paving, etc. must be completed before obtaining a C/O or C/C for the building addition.
- A Unity of Title, in a form acceptable to the City Attorney's Office, must be submitted prior to the issuance of any Building Permits and recorded in the Public Records of Broward County prior to the issuance of Certificate of Occupancy (C/O).

ATTACHMENTS

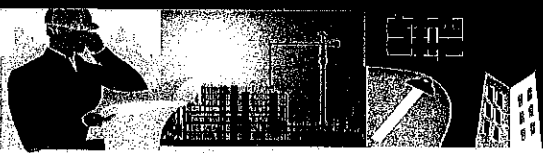
ATTACHMENT A: Application Package

ATTACHMENT B: Land Use and Zoning District Map

ATTACHMENT A

Application package

OFFICE OF PLANNING



File No. (to be filled by the Office of Planning): _____

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at

http://www.hollywoodfl.org/comm_planning/appforms.htm



APPLICATION TYPE (CHECK ONE):

- ☒ Development Review Board ☐ Historic Preservation Board
☐ Planning and Zoning Board ☐ Technical Advisory Committee
☐ City Commission

Date of Application: March 15, 2012Location Address: 6117 Hollywood Boulevard, Hollywood, FloridaLot(s): 23-29 Block(s): 4, 5, 6, & 7 Subdivision: Gracewood No. 2Folio Number(s): 514113060510, 514113060500Zoning Classification: C-4 Land Use Classification: General BusinessExisting Property Use: Retail Sq Ft/Number of Units: 11,653 Sq. Ft.

Is the request the result of a violation notice? () Yes (✓) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): TAC #11DPSV-32

- ☒ Economic Roundtable ☒ Technical Advisory Committee ☐ Development Review Board
☐ Planning and Zoning Board ☐ Historic Preservation Board ☐ City Commission

Explanation of Request: Addition to an existing Retail Building with Additional Parking to support the Additional Sq. Footage & Variance Request for number of Parking Spaces.

Number of units/rooms: N/A Sq Ft: 2,990 Sq. Ft.Value of Improvement: \$350,000 Estimated Date of Completion: December 2012

Will Project be Phased? () Yes (✓) No If Phased, Estimated Completion of Each Phase _____

Name of Current Property Owner: Belle Center, LLC c/o Mark E. FriedAddress of Property Owner: 1110 Brickell Avenue, Suite 310 Miami FL 33131Telephone: 305-371-7079 Fax: 305-371-5727 Email Address: mfried@markfriedlaw.comName of Consultant/Representative/Tenant (circle one): Joseph B. Kaller & Associates, P.A.Address: 2417 Hollywood Blvd. Hollywood, FL Telephone: 954-920-5746Fax: 954-926-2841 Email Address: joseph@kallerarchitects.comDate of Purchase: 9/16/10 Is there an option to purchase the Property? Yes () No (✓)

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: Mr. Jaime EsquenaziAddress: 2811 Northeast 18th Street

Aventura, FL 33180

Email Address: jaimeesquenazi@gmail.com

OFFICE OF PLANNING



2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

GENERAL APPLICATION

CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: [Signature] Date: 01/25/2012
 PRINT NAME: Belle Center LLC By: Mark E. Fried, Manager
 Signature of Consultant/Representative: [Signature] Date: 1/25/12
 PRINT NAME: Joseph B. Kaller, Architect
 Signature of Tenant: _____ Date: _____
 PRINT NAME: _____ Date: _____

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) Planning & Development Review to my property, which is hereby made by me or I am hereby authorizing (name of the representative) Joseph B. Kaller & Associates, P.A. to be my legal representative before the Planning & Development (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 25 day of Jan. 2012

[Signature]
 Notary Public State of Florida

Belle Center, LLC
 By: [Signature]
 SIGNATURE OF CURRENT OWNER Manager

PRINT NAME MARK E. FRIED

My Commission Expires: 09/30/2014 (Check One) ☒ Personally known to me; OR _____



SHARON DIAZ GRANADOS
 MY COMMISSION # EE 031062
 EXPIRES: September 30, 2014
 Bonded Thru Budget Notary Services

BIELE CENTER

6117 HOLLYWOOD BOULEVARD

SPECIAL EXCEPTION CRITERIA

CRITERIA 1: The Proposed use must be consistent with the principals of the City's Comprehensive Plan.

ANALYSIS: The use of a Residentially Zoned Parcel as a Commercial Parking Lot is not uncommon for a site situated so close to a heavy commercial corridor like the west area of Hollywood Boulevard. It is not uncommon that the commercial activity along the Boulevard uses lots just behind as support lots for parking as well as delivery services. This has been happening along Sheridan, Pembroke Road and State Road 7 over the years. Other low intensity commercial businesses also exist within the adjacent RM-12 District. The use of the RM-12 Zoned Site as a parking lot is consistent with the City's Comprehensive Plan along the major commercial corridors.

CRITERIA 2: The Proposed use must be compatible with the existing land use pattern and designated future uses and with the existing natural environment and other real properties within the vicinity.

ANALYSIS: The existing land use pattern of this area is that of mainly low intensity commercial offices. This includes professional offices and religious institutions, which have their parking spaces on Site. The entire area is dotted with low intensity commercial uses and parking lots just north and south of the Site directly abutting the Boulevard.

CRITERIA 3:

That there will be provisions for safe traffic movement, both vehicular and pedestrian, both internal to the use and in the area which will serve the use.

ANALYSIS: The parking lot being proposed will be for the use of business Owners and those employed by these businesses. This allows for workers to enter the building from the rear. This will ensure that patrons and customers have the parking spaces in front of the building for easy access to these services. The walkways adjacent to the buildings in the front and rear of the property have been widened and improved for safer easier access to the building.

CRITERIA 4:

That there are setbacks, buffering and general amenities in order to control any adverse effects of noise, light, dust and other potential nuisances.

ANALYSIS: Along the edge proposed parking lot, a 6' opaque fence is being proposed in order to provide buffering to the adjacent residentially zoned lots. This concrete block fence will be stuccoed and painted to match the proposed building design and it will be set in from the property line in order to provide an area of fully irrigated landscaping. This will not only help with any noise, light and dust, but will also be pleasing to look at from the residentially zoned side.

CRITERIA 5:

The Proposed use, singularly or in combination with other Special Exceptions, must not be detrimental to the health, safety, or appearance of the neighborhood or other adjacent uses by reason of any one or more of the following: the number, area, location, height, orientation, intensity or relation to the neighborhood or other adjacent uses.

ANALYSIS: The use of this lot as a parking lot will not be detrimental in any way. It is not a throughway, therefore there can be no speeding vehicles. The appearance will be consistent with surrounding uses and will not negatively impact the surrounding community. The parking lot, in conjunction with the renovated buildings will positively add to the existing environment and enhance the appearance of the neighborhood.

CRITERIA 6:

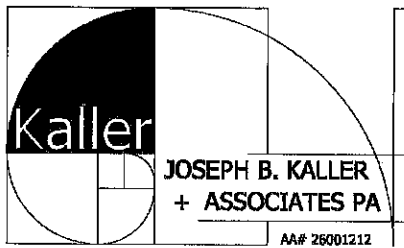
The subject parcel must be adequate in shape and size to accommodate the proposed use.

ANALYSIS: The parcel perfectly fits the parking required for the people working at the various businesses. It provided direct access to all of the rear entrances to the bays and accommodated the dumpster enclosure away from the streets. The parcel was also just the right size for landscaping at the edges in order to soften the harder elements that are associated with parking lots.

CRITERIA 7:

The proposed use will be consistent with the definition of a Special Exception and will meet the standards and criteria of the Zoning Classification in which such use is proposed to be located and all other requirements for such particular use set forth elsewhere in the Zoning Code, or otherwise adopted by the City Commission.

ANALYSIS: This parking lot in a Residential Multi-Family Zoned District is not unlike the parking lots found in front of the smaller scale apartment complexes found throughout the neighborhood. The number of spaces being proposed is relatively low and the number of spaces provided is the same as that found at an eight unit apartment building. All of the standards, criteria and intent of the Zoning Code and the City of Hollywood Comprehensive Plan have been upheld and is well within the prevue of what the Special Exception definition expects.



architecture - interiors - planning

March 12, 2012

City of Hollywood
Building Department
2600 Hollywood Boulevard
Hollywood, Florida 33020

Reference: Beile Center
6117 Hollywood Boulevard
Hollywood, Florida
Architect's Project #10158

To Whom It May Concern:

The above referenced Project consists of a 2,990 Sq. Ft. Addition to an existing 11,936 Sq. Ft. Strip Shopping Center. For the sake of calculating the parking spaces required, 250 Sq. Ft. per parking space was used. There is currently low to medium intensity commercial use in the Center. These include Napa Auto Parts, a tattoo parlor and a Metro PCS Store. The only "restaurant" type use currently there, is a "Subway" which is not a dine-in establishment and has no drive-through capabilities.

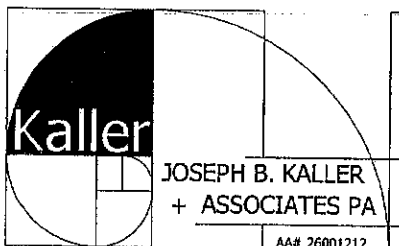
At time of Building Permit Application, the Owner of the Project will submit an affidavit stating that the Shopping Center will be for retail and office occupancy only with the exception of Subway that is currently leasing in the center.

Should you have any questions concerning this matter, please feel free to contact my office at any time.

Sincerely,
Joseph B. Kaller & Associates, P.A.

A handwritten signature in black ink, appearing to read 'Joseph B. Kaller', is written over the typed name.

Joseph B. Kaller, AIA, LEED AP
President



architecture - interiors - planning

GENERAL CRITERIA STATEMENT
BEILE CENTER
6117 HOLLYWOOD BOULEVARD
11-DPSV-32
February 6, 2012

1. Architectural and Design Components. Architecture refers to the Architectural elements of exterior building surfaces. Architectural Details should be commensurate with the building mass. The use of traditional materials for new Architectural Details is recommended. Design of the Building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

The Proposed Project consists of an addition to and façade renovation of an existing Strip Shopping Center located on Hollywood Boulevard, just east of State Road 7. The design is clean and modern which will update a building that has no significant architectural style or features. The addition features a colonnade that has flared columns with large sconces and beams deep enough to have the sign on them. This colonnade will continue in front of the existing building in order to add weight and significance to the dated façade. This feature will also allow each retail bay to stand out more. The design also enhances the walkway in front of the building much more, which provides more secure pedestrian movement.

2. Compatibility. The relationship between existing Architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

The neighborhood is made up of buildings built in the 1960's and 70's. Many of the buildings have no significant architectural features and many have been renovated in a way that none of the original style can be discerned. The contemporary style of architecture being proposed can be found in the more prominent buildings in the area like the Presidential Building on Presidential Circle and the Duty Free Building across the street from the Site. Both of these Buildings evoke an air of commerce and success in West Hollywood and both are found along the City's Main Corridor.

3. Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage and setting of the structure in context with adjacent buildings. Architectural details included, but are not limited to, banding, molding and fenestration.

The Building's Addition was massed in a way so as to give prominence on the Southeast Corridor. This is the area of the Building that will be seen first traveling west bound on Hollywood Boulevard. This corner is made taller and then the Building steps down as your eye moves north along the east façade and west along the south façade. This allows the Building to have an area of hierarchy which adds movement and interest to the overall Building.

4. Landscaping. Landscaped area should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

Landscaping is being added to both the existing and proposed parking areas. This is done along Hollywood Boulevard using Ligustrum Trees. Podocarpus will form a buffer between the new parking lot and the existing residentially zoned properties adjacent to the north and east. Other plantings like Crown of Thorns and Cold Mound Duranta provides interesting textures and colors at the base of the building and in the landscape islands. All existing trees will remain.

VARIANCE CRITERIA STATEMENT
BEILE CENTER
6117 HOLLYWOOD BOULEVARD
11-DPSV-32
March 15, 2012

- A. That the requested Variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the City:

The Variance being requested is for the number of parking spaces required for the square footage of existing and proposed as measured inside the exterior block walls. Instead of using 220 SF per parking space as required by a Shopping Center, we opted to use 250 SF per space as required for Office and Retail Use. This yielded a requirement of 58 spaces for 14,533 of interior Square Footage of the Building, 59 spaces are being provided. Currently the Building houses, businesses that are considered low/medium intensity, like NAPA Auto Parts Store, Metro PCS, a hair salon, a tattoo parlor and a check cashing store. Subway is the only food operation in the center and it is not an eat-in establishment. This area, in the City, is known for low intensity uses like professional offices, vocational training facilities and laboratories. The basic intent of the subject regulation is fully maintained and the stability and appearance of the City are improved.

- B. That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the Community:

The requested Variances are compatible with the surrounding land uses. The areas commercial activity consists mainly of office and retail uses. These areas tend to be of low to medium intensity like doctor's offices and personal service uses which have slightly less vehicular traffic than high intensity commercial uses like drive-in restaurants and movie theatres. The Project would significantly enhance and improve the existing Property as well as the Hollywood Boulevard corridor and the surrounding community as a whole. This Project may even serve as a catalyst to other commercial property Owners that may consider similar improvements.

- C. That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time, the applicable Neighborhood Plan and all other similar plans adopted by the City:

The City Wide master Plan for Sub Area 1 considers this area to have low hybrid characteristics that typically comprise of smaller businesses of low intensity. The Variances requested are consistent with the goals and Comprehensive Plan of the City of Hollywood. The Hollywood Boulevard Corridor is the main corridor in the City and this area serves as the first facades seen heading east after exiting the Turnpike. It is a sort of Welcome sign to the City for many. This renovation and addition would be significant to this area.

- D. That the need for the requested Variance is not economically based or self-imposed.

The requested Variances are not based on an economic or self imposed situation, but rather on a practical assessment of the area. It is important that the massing of the building and the scale and presence of the building facing Hollywood Boulevard makes a statement about improving the neighborhood, inviting investment and promoting re-development in an area that has been quite stagnant.

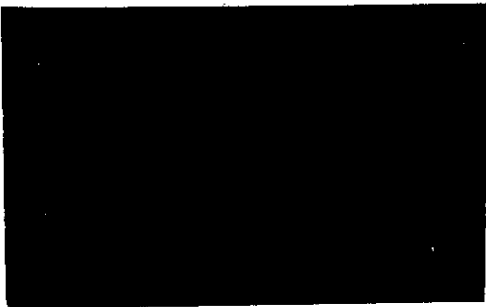
- E. That the Variance is necessary to comply with State or Federal Law and is the minimum Variance Necessary to comply with the applicable law.

The Variance requested does not conflict with any State or Federal Laws affecting the Hollywood Boulevard Corridor. With or without the Variance request all laws will be adhered to.

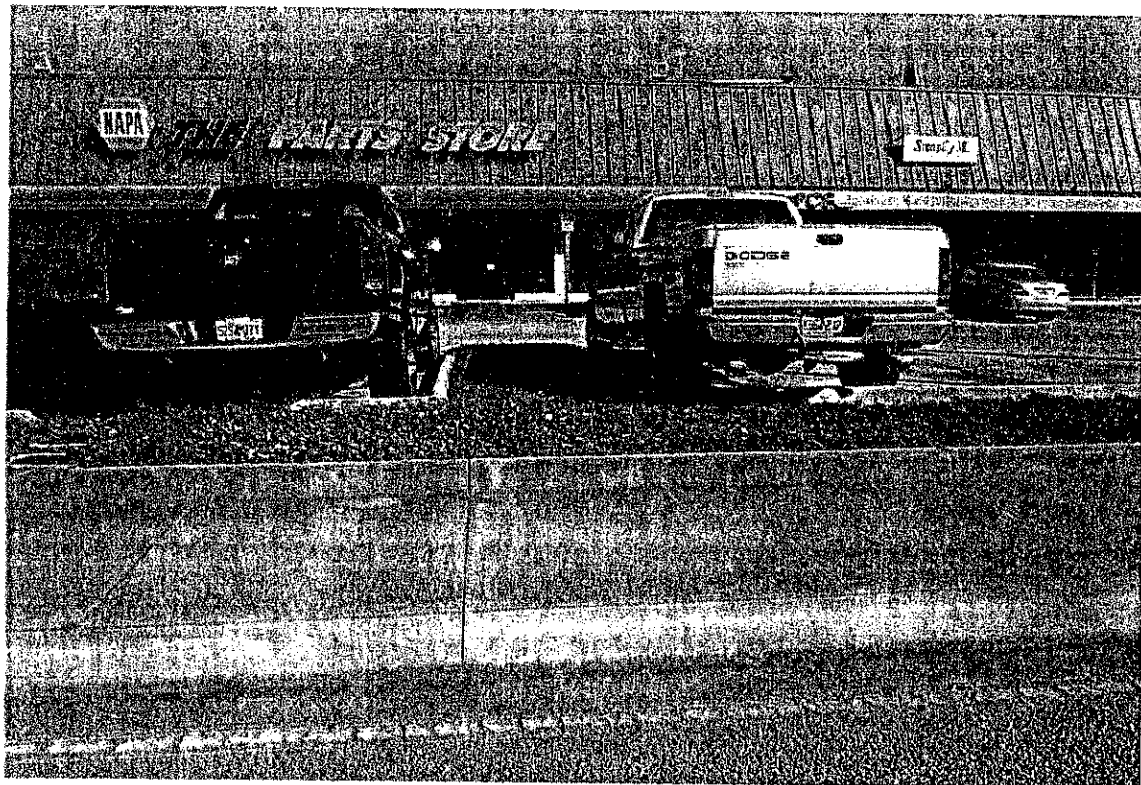
BEILE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA

BUILDING BASE
BENJAMIN MOORE 959
ANTIQUE PARCHMENT

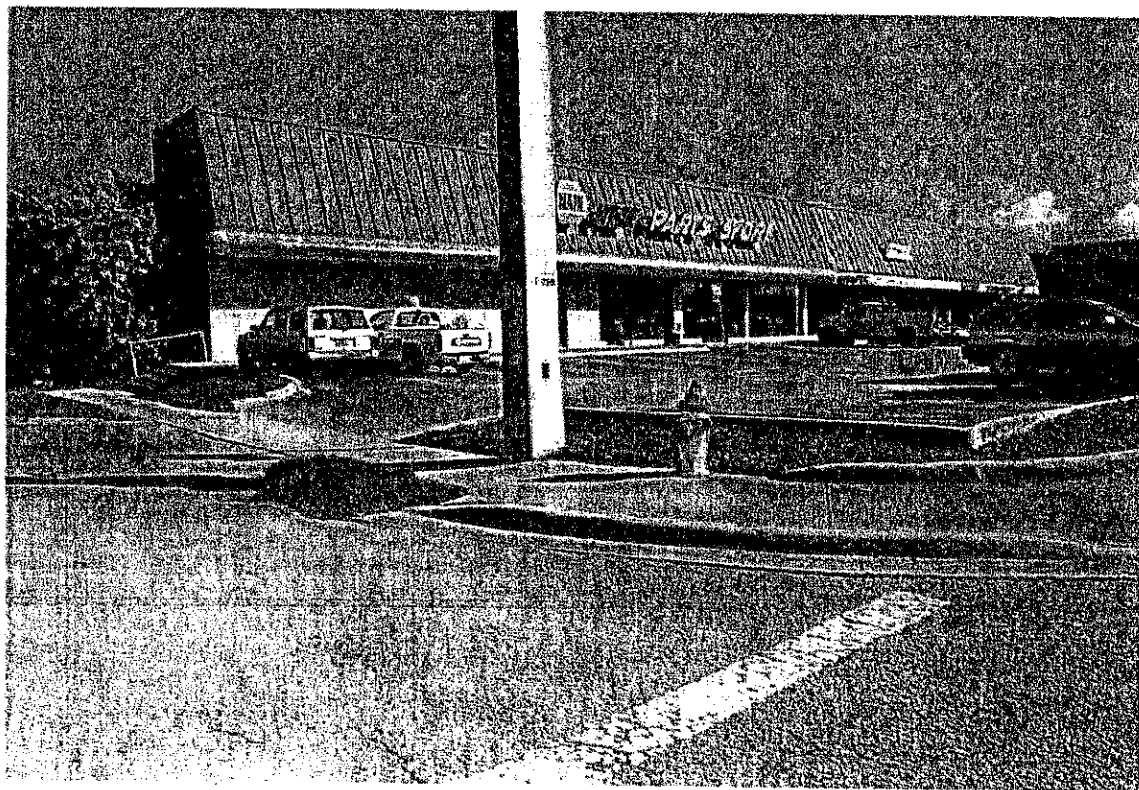
COLUMNS AND BEAMS
BENJAMIN MOORE 871
PEARL RIVER



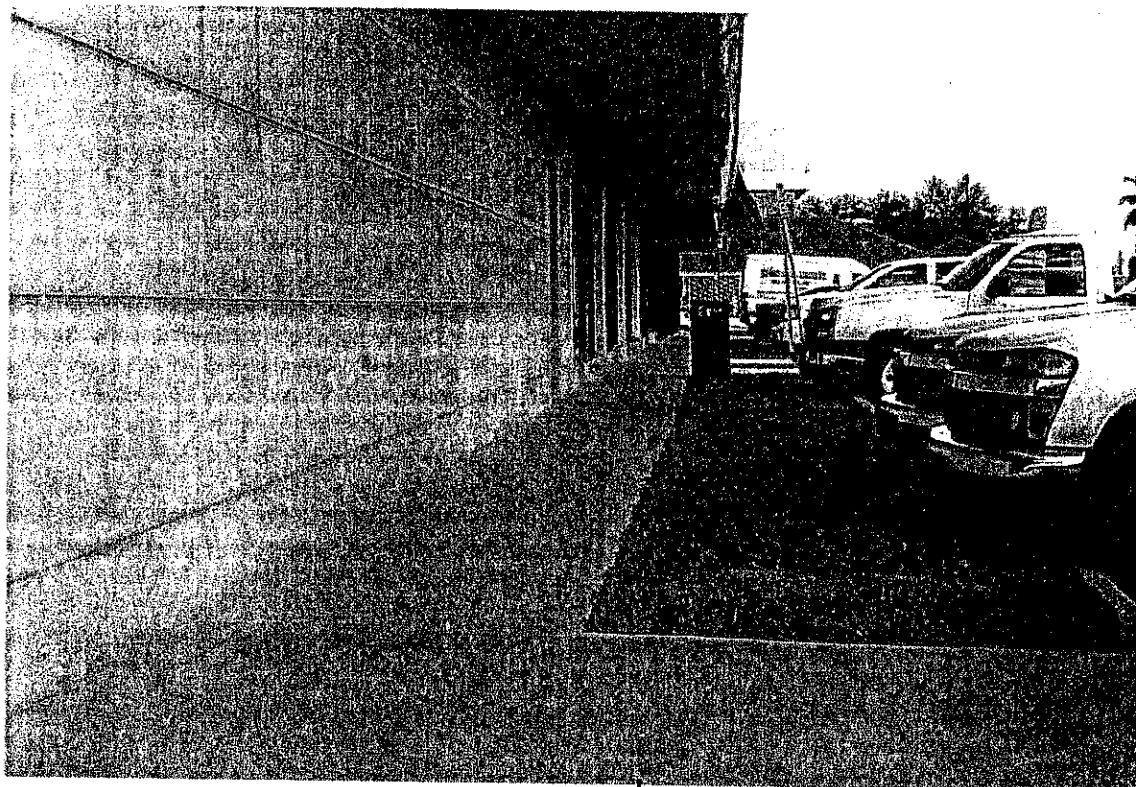
METAL ROOF
BENJAMIN MOORE HC-163
DUXBURY GRAY



SOUTH ELEVATION



SOUTH WEST CORNER
OF SITE.



LOOKING ALONG EXIST. WALKWAY.



SOUTH EAST CORNER
OF SITE.

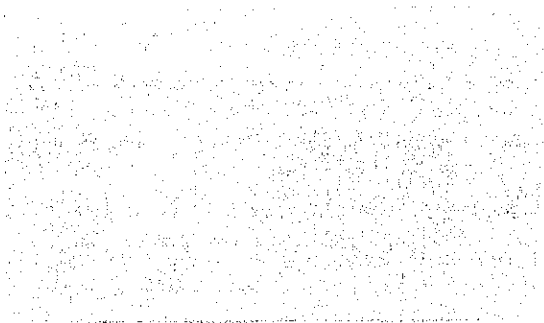
Map of 6117 Hollywood Blvd, Hollywood, FL 33024-7937- **YAHOO!**



When using any driving directions or map, it's a good idea to do a reality check and make sure the road still exists, watch out for construction, and follow all traffic safety precautions. This is only to be used as an aid in planning.

AERIAL VIEW OF SITE.

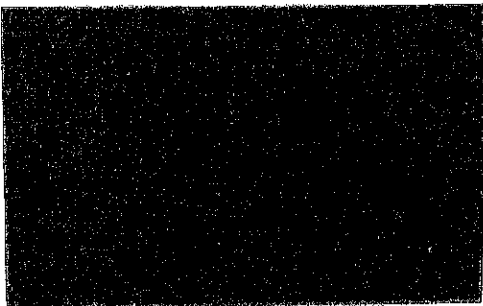
BEILE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA



BUILDING BASE
BENJAMIN MOORE 959
ANTIQUE PARCHMENT

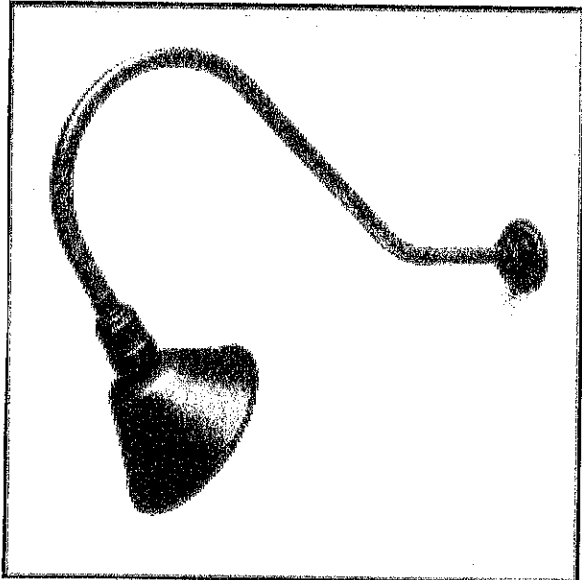


COLUMNS AND BEAMS
BENJAMIN MOORE 871
PEARL RIVER

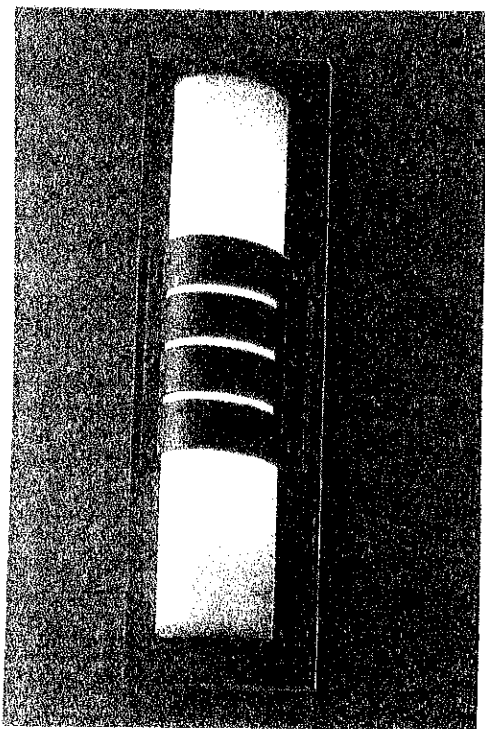


METAL ROOF
BENJAMIN MOORE HC-163
DUXBURY GRAY

BEILE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA



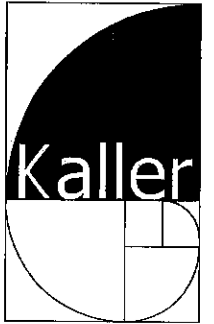
GOOSE NECK LAMPS
HOOK AND LATTICE
BRUSHED ALUMINUM



SCONCES
SCOTT LIGHTING
BRUSHED ALUMINUM

ADDITION TO THE BEILE CENTER, LLC

6117 HOLLYWOOD BLVD
HOLLYWOOD, FLORIDA 33024



JOSEPH B. KALLER
&
ASSOCIATES, P.A.
A.A.# 30091212
2417 Hollywood Blvd., Hollywood, Florida 33020
P 305.520.5745 F 305.520.2911
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
ADDITION TO
THE BEILE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33024

SHEET TITLE
COVER SHEET
PROJECT INFORMATION
LOCATION PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	02.09.12	PLANNING
2	03.09.12	PLANNING
3	03.15.12	PLANNING

This drawing, as an authorized revision, is not to be used for construction purposes unless it is accompanied by the proper revision notice.

PROJECT No.: 10158
DATE: 4-22-11
DRAWN BY: JMEP
CHECKED BY: JBK

SHEET

T-1

PROJECT TEAM:

OWNER:

THE BEILE CENTER, LLC
(C) MR. MARK E. FRIED, P.A.
1100 BRICKELL AVENUE, SUITE 310
MIAMI, FLORIDA 33133

ARCHITECT:

JOSEPH B. KALLER & ASSOCIATES P.A.
(C) JOSEPH B. KALLER
2417 HOLLYWOOD BLVD
HOLLYWOOD, FLORIDA 33020
P 305.520.5745
F 305.520.2911
joseph@kallerarchitects.com

CIVIL ENGINEER:

G.G.B. ENGINEERING INC.
(C) GARY BLOOM
2699 STIRLING ROAD
SUITE C-202
FORT LAUDERDALE, FLORIDA 33312
P 954.986.9899
F 954.986.6655
GARY@GGBENG.COM

SURVEYOR:

GLOBAL DIMENSIONS INC.
(C) DAVID L. RITCH
4710 S.W. 43rd WAY
MIAMI, FLORIDA 33149
P 305.512.4275
F 305.512.1914
GLOBAL.SURVEYORS@BELL.SOUTH.NET

PROJECT INFORMATION:

ADDRESS:

BEILE CENTER, LLC
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33024

LEGAL DESCRIPTION:

LOT 23 AND THE W 28 FEET OF LOT 23 AND LOTS 24, 25, 26, 27
AND 28 BLOCK 4, GRACEWOOD NO. 2, ACCORDING TO THE
PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 33 OF THE
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

BUILDING CODES:

FLORIDA BUILDING CODE, 2007 ED
FLORIDA ACCESSIBILITY CODE, 2001 ED
LIFE SAFETY CODE (NFPA 101), 2006 ED
FLORIDA FIRE PREVENTION CODE, 2006 EDITION
CHAPTERS 10, 11, 12 & 14

JURISDICTION:

CITY OF HOLLYWOOD
BROWARD COUNTY
STATE OF FLORIDA

GENERAL NOTES:

1. PERMITS: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED FOR THE CORRECTION OF THE ADA VIOLATIONS.

2. QUALIFICATION OF CONTRACTOR: THE GENERAL CONTRACTOR AND ALL SUBS - CONTRACTORS SHALL BE LICENSED BY THE STATE OF FLORIDA, AS WELL AS THE COUNTY AND BE INSURED TO MEET THE REQUIREMENTS OF THE CITY OF HOLLYWOOD, FLORIDA.

3. OWNER SHALL HAVE THE RIGHT OF APPROVAL OR REJECTION OF ALL SUBCONTRACTORS PRIOR TO SIGNING THE CONTRACT. GENERAL CONTRACTOR SHALL SUBMIT A LIST OF ALL PROPOSED SUBCONTRACTORS AND SUPPLIERS TO THE OWNER FOR THIS PURPOSE.

4. EXISTING CONDITIONS: CONTRACTOR BY AND THROUGH SUBMISSION OF HIS BID, AGREES THAT HE SHALL BE HELD RESPONSIBLE FOR HAVING EXAMINED THE SITE, THE PROPOSED PLANS, THE LOCATION OF ALL PROPOSED WORK AND FOR HAVING SATISFIED HIMSELF FROM HIS OWN PERSONAL KNOWLEDGE AND EXPERIENCE OR PROFESSIONAL ADVICE AS TO THE CHARACTER AND LOCATION OF THE SITE, THE NATURE OF EXISTING CONDITIONS, THE LOCATION OF EXISTING UTILITIES AND ANY OTHER CONDITIONS SURROUNDING AND AFFECTING THE WORK, ANY OBSTRUCTIONS, AND ALL OTHER PHYSICAL CHARACTERISTICS OF THE SITE, IN ORDER THAT HE MAY INCLUDE IN HIS PRICE ALL COSTS PERTAINING TO THE WORK AND THEREBY PROVIDE FOR THE SATISFACTORY COMPLETION OF ANY OBJECTS OR OBSTRUCTION WHICH MAY BE ENCOUNTERED IN DOING THE PROPOSED WORK.

5. ALL MEASUREMENTS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. THE DIMENSIONS SHOWN ARE AS ACCURATE AS THE BASE BUILDING DOCUMENTS PERMIT. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL. IF DIMENSIONS ARE NOT DESIGNATED ON THE PLANS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEM WITH THE ARCHITECT.

6. COMPLY AT ALL TIMES WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, LIFE AND SAFETY CODE (NFPA 101), FLORIDA ACCESSIBILITY CODE AND ALL LOCAL CODES AND ORDINANCES.

7. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT ONE COPY ON REPRODUCIBLE MEDIA AND FOUR (4) HARD COPIES OF ALL REQUIRED SHOP DRAWINGS CALLED FOR ON THE DRAWINGS OR REQUIRED BY BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO TIME DELAY IN THE CONSTRUCTION SEQUENCE.

8. PROTECTION: THE CONTRACTOR SHALL PROTECT ADJACENT PARTS OF THE EXISTING BUILDINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION, AND BE LIABLE FOR SAME.

9. WORKSMANSHIP: ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE NEW AND ALL WORKSMANSHIP SHALL BE FIRST CLASS FOLLOWING THE MANUFACTURER'S SPECIFICATIONS ALONG WITH THE BEST TRADE PRACTICES AND STANDARDS.

10. ALL WORK TO BE GUARANTEED AGAINST POOR WORKSMANSHIP AND DEFECTS.

11. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT (UNLESS OTHERWISE NOTED) REQUIRED FOR THE COMPLETION OF THE JOB IN ACCORDANCE WITH THESE DRAWINGS.

12. CLEAN UP ALL RUBBISH, REFUSE, SCRAP MATERIALS AND DEBRIS CAUSED BY THIS PROJECT AT THE END OF EACH DAY AND INSURE THAT THE SITE OF WORK SHALL PRESENT A NEAT ORDERLY AND WORKMANLIKE APPEARANCE.

13. GENERAL CONTRACTOR SHALL PRESENT THE JOB TO THE OWNER FOR ACCEPTANCE, CLEANED AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED, FIXTURES WASHED AND ALL LABELS REMOVED.

14. STORE MATERIALS IN A SAFE AND APPROVED LOCATION. COMPLY WITH ALL REGULATIONS GOVERNING THE NEIGHBORHOOD AS TO MINIMIZE INTERRUPTIONS AND/OR INTERFERENCE WITH ANY OF THE SURROUNDING OPERATIONS.

15. ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESERVE TREATED.

SITE INFORMATION/ BUILDING SUMMARY

1)- ZONING DESIGNATION: C-4 MEDIUM/ HIGH INTENSITY COMMERCIAL DISTRICT
SR7-CCD-C2

LAND USE DESIGNATION: TRANSIT ORIENTED CORRIDOR

2)- NET LOT AREA: 43,949 SQUARE FEET (1.01 ACRES)

3)- BUILDING FOOTPRINT: 14,926 SQUARE FEET
VEHICULAR PAVED AREA: 10,083 SQUARE FEET
WALKWAYS AND SIDEWALKS: 2,542 SQUARE FEET
TOTAL INTERVIEWS: 36,456 SQUARE FEET

PERVIOUS AREA: 7,403 SQUARE FEET
(30.58 OF PAVED AREA)

4)- PARKING REQUIREMENTS:

	REQUIRED	PROVIDED
COMMERCIAL	AREA OF BUILDING MEASURED INTERNALLY = 14,926 S.F. (EXTERIOR WALLS DELETED) 14,926 S.F. / 259 = 58 SPACES	59 SPACES (INCL. 3 H.C. SPACES)

	REQUIRED	PROVIDED
PROPERTY LINES ADJACENT TO COMMERCIAL		
FRONT	0'-0"	72'-0"
EAST SIDE	0'-0"	15'-0"
WEST SIDE	0'-0"	0'-0" (EXISTING)
PROPERTY LINES ADJACENT TO RESIDENTIAL		
REAR	15'-0"	4'-0" (MATCHING EXISTING BUILDING)

9)- BUILDING HEIGHT:

	ALLOWED	PROVIDED
	175'-0"	25'-0"

10)- BUILDING AREAS:

EXISTING	11,030 S.F.
ADDITION	2,900 S.F.
TOTAL	14,926 S.F.

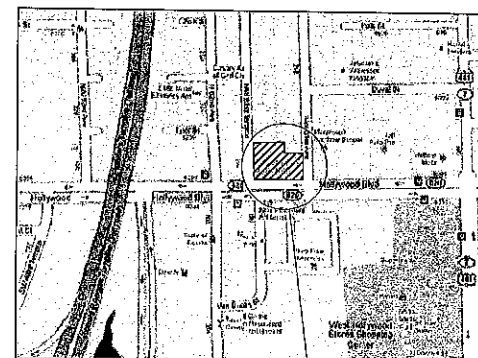
VARIANCE:

1. NEW PARKING CALCULATIONS	
REQUIRED: 226/S.F.	
PROVIDED: 259/S.F.	

SPECIAL EXCEPTION:

AT CRANE PARKING ON RESIDENTIALLY ZONED PARCEL.	
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LOCATION MAP:

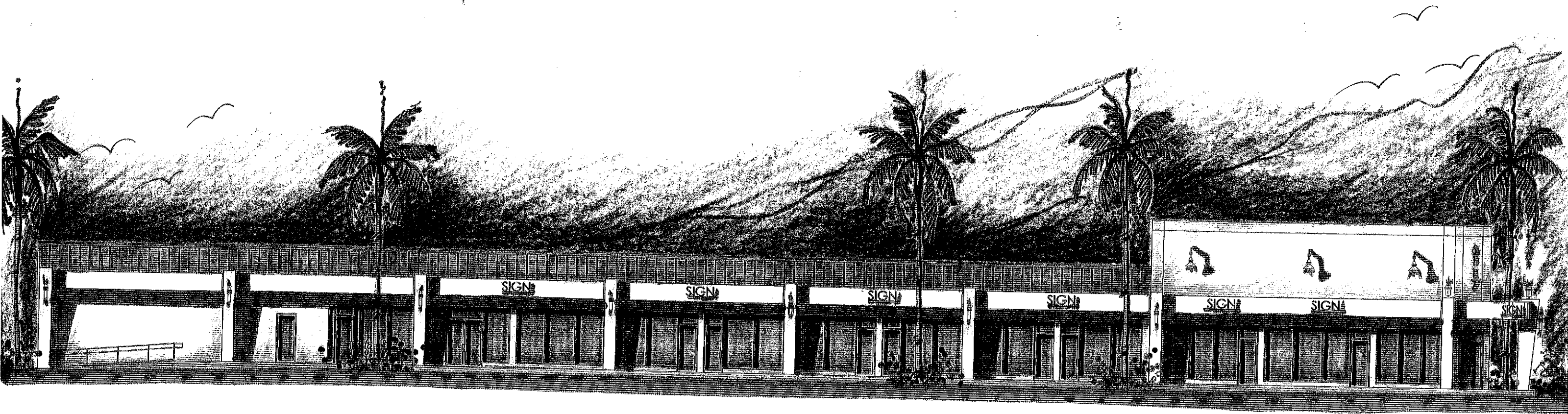


SITE LOCATION



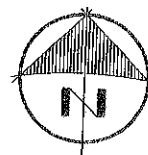
AERIAL VIEW:





SOUTH ELEVATION

BEILE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD FLORIDA



A.L.T.A./A.C.S.M. LAND SURVEY

SCALE: 1"=30'

FOR: BEILE CENTER, LLC

JOB NO: 1105-009A

FIELD DATE: 07-14-2011

PROP. ADD: 6117 HOLLYWOOD BOULEVARD, HOLLYWOOD, FL 33024
& VACANT LOT ON NORTH 61st TERRACE, HOLLYWOOD, FL 33024

LEGAL DESCRIPTION:

FOLIO # 5141-13-06-0510

LOT: 24, 25, 26, 27 & 28 BLOCK: 4 SUBDIVISION: GRACEWOOD No. 2

PLAT BOOK: 24 PAGE: 33 OF: BROWARD COUNTY, FLORIDA

AND
FOLIO # 5141-13-06-0500

LOT: 23 & W 28feet of Lot 29 BLOCK: 4 SUBDIVISION: GRACEWOOD No. 2

PLAT BOOK: 24 PAGE: 33 OF: BROWARD COUNTY, FLORIDA

CERTIFIED:

BEILE CENTER, LLC

THIS IS TO CERTIFY: THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS IN 2005. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE MAXIMUM POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. I FURTHER CERTIFY THAT THIS SURVEY MEETS MAXIMUM TECHNICAL STANDARDS FOR BOUNDARY SURVEYS SET FORTH BY THE FLORIDA STATE OF BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61G17-06, OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES. GLOBAL DIMENSIONS, INC.

BY:

DAVID L. FUTCH
PROFESSIONAL LAND SURVEYOR NO. 4843
STATE OF FLORIDA

NOTE: THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORDS IS BASED UPON THE OWNERSHIP AND ENCUMBRANCE REPORT ISSUED BY MARK E. FRIED, P.A. DATE APRIL 12, 2011.

SURVEYORS NOTES:

- 1) THE SURVEY OF THE PROPERTY SHOWN HEREON IS IN ACCORDANCE WITH THE DESCRIPTION FURNISHED BY CLIENT.
- 2) UNLESS A COMPARISON IS SHOWN, ALL BEARING, ANGLES AND DISTANCES SHOWN ARE THE SAME AS PLAT VALUES.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENT WERE NOT LOCATED.
- 4) FENCES TIES ARE TO THE CENTER LINE OF THE SAME.
- 5) WALL TIES TO THE FACE OF THE SAME.
- 6) ELEVATION WHEN SHOWN ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM (1929) UNLESS OTHERWISE NOTED.
- 7) THERE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN.
- 8) THIS SKETCH HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITY (ENTITIES) NAMED HEREON. THE CERTIFICATION AFFIXED HERETO DOES NOT EXTEND TO ANY UNAMED PARTIES.

(FLOOD ZONE INFORMATION)

ZONE: X COMM: 125113 PANEL: 12011C0312 SUFFIX: F DATE: 8-18-92 BASE: N/A

ABBREVIATIONS:

SWK= Sidewalk, CBS= Concrete Block Structure, CLF= Chain Link Fence, PL= Property Line, DUE= Drainage Utility Easement, IP= Iron Pipe, AC= Air Conditioner Pad, P/C= Property Corner, D/H= Drilled Hole, W/F= Wood Fence, RES= Residence, CL= Clear, RB= Rebar, UE= Utility Easement, CONC= Conc. Slab, RW= Right of Way, DE= Drainage Easement, C/L= Center Line, O= Diameter, TYP= Typical, M= Measured, R= Recorded, ENCR= Encroachment, COMP= Computer, ASPH= Asphalt, N/D= Nail & Disc, S= Set, FFE= Finish Floor Elevation, O/S= Offset, P/P= Power Pole, OHP= Overhead Powerline, WM= Water Meter, C/B= Catch Basin, MH= manhole.

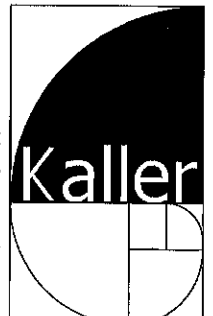
GLOBAL DIMENSIONS INC.
Land Surveying Services
14770 SW 43rd Way,
MIAMI, FL 33185
OFFICE: PHONE: (305) 512-4225
FAX: (305) 512-1914

I HEREBY CERTIFY:
That the attached "Boundary Survey" of the lands shown hereon is true and correct to the best of my knowledge and belief as recently surveyed and drawn under my supervision and direction. This survey complies with the Minimum Technical Standards adopted by the Florida State Board of Professional Surveyors and Mappers as contained in Chapter 64-17, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes.

DAVID L. FUTCH
REGISTERED LAND SURVEYOR # 4843
STATE OF FLORIDA
LB # 0006874

NOTE: NOT VALID UNLESS
SIGNED AND SEALED

SHEET 1 OF 1



JOSEPH B. KALLER & ASSOCIATES, P.A.
 2417 Hollywood Blvd., Hollywood, Florida 33020
 P 954.923.5746 F 954.925.7811
 joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
 FLORIDA S.A. # 0009239

PROJECT TITLE
ADDITION TO BELLE CENTER
 6117 HOLLYWOOD BOULEVARD
 HOLLYWOOD, FLORIDA 33024

SHEET TITLE
SITE PLAN

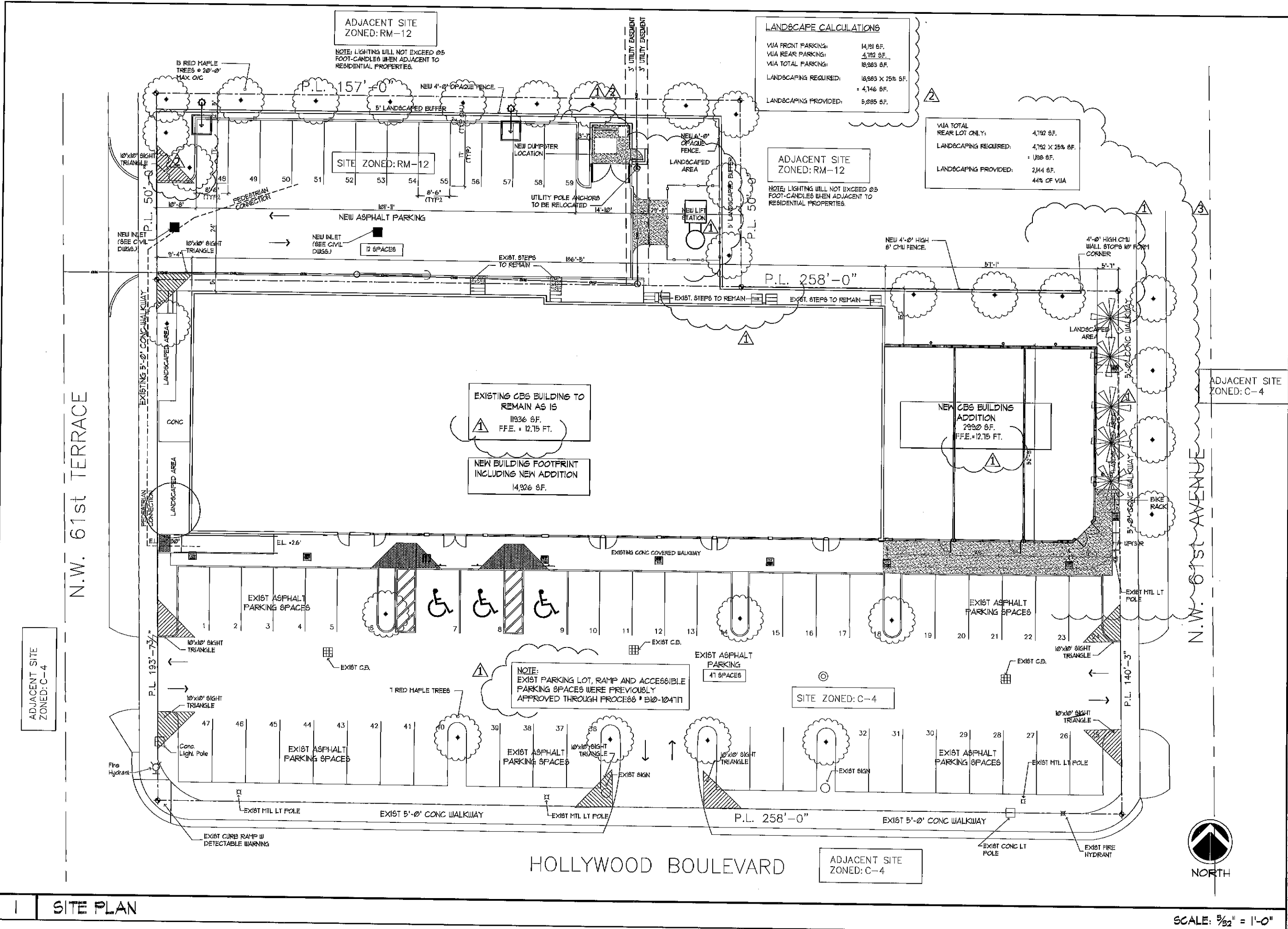
REVISIONS

No.	DATE	DESCRIPTION
1	01.23.12	PLANNING
2	03.09.12	PLANNING
3	03.15.12	PLANNING

PROJECT No.: 10158
 DATE: 4-22-11
 DRAWN BY: JMEP
 CHECKED BY: JBK

SHEET

SP-1



SITE PLAN

SCALE: 1/32" = 1'-0"



JOSEPH B. KALLER
&
ASSOCIATES, P.A.
A/E 28001212
2417 Hollywood Blvd., Hollywood, Florida 33020
P 954.526.5746 F 954.526.2841
jpkaller@kallerchick.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
ADDITION TO BEILE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33024

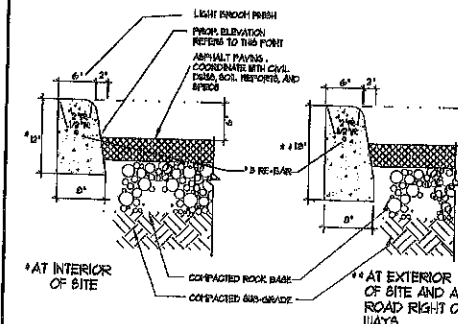
SHEET TITLE
SITE PLAN

REVISIONS		
No.	DATE	DESCRIPTION
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2	03.09.12	PLANNING

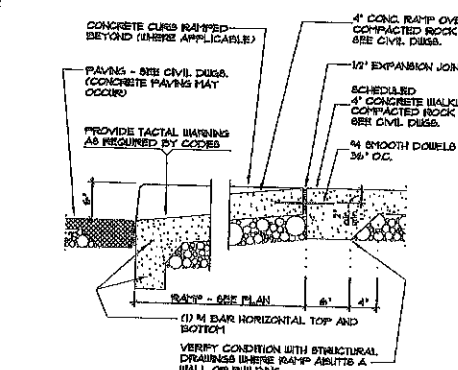
PROJECT No.: 10158
DATE: 4-22-11
DRAWN BY: JMK
CHECKED BY: JMK

SHEET

SP-2

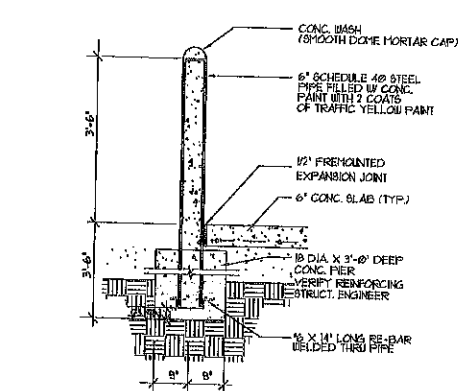


7 TYP. TYPE D CONCRETE CURB NTS

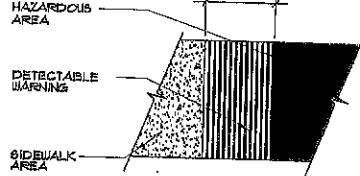


8 RAMP SECTION NTS

9 TYP. CONC. SLAB JOINTS NTS



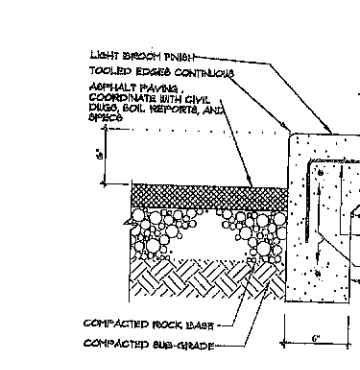
10 STEEL BOLLARD DTL. (NTS) NTS



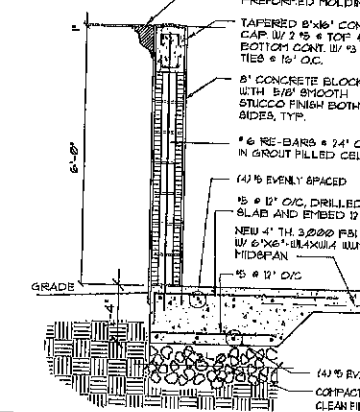
A- IF A WALKWAY CROSSES OR ADJACENT A VEHICULAR WAY AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILING AND OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND THE VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE, AS PER F.A.C. 429.5

B- DETECTABLE WARNING ON EXTERIOR WALKING SURFACES SHALL BE EXPOSED AGGREGATE

3 DETECTABLE WARNING SURFACE NTS



4 CURB DETAIL NTS



5 DUMPSTER WALL DETAIL NTS

ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:50 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH FOLLOWING:

SLOPE AND RISE - THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP WITHIN CONSTRUCTION SHALL BE 1:50. THE MAXIMUM RISE FOR ANY RAMP SHALL BE 80 IN.

CLEAR WIDTH -

1. MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 44" CLEAR
2. RAMP WIDTH AND PART OF A REQUIRED HEAD OF EGRESS SHALL BE NOT LESS THAN 44 INCHES CLEAR

LANDINGS - RAMP SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP AND EACH RAMP RUN. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:

1. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUNS LEADING TO IT.
2. IF RAMP CHANGES DIRECTION AT A LANDING, THE MINIMUM LANDING SIZE SHALL BE 60 INCHES BY 60 INCHES.
3. IF A DOORWAY IS LOCATED AT A LANDING, THEN THE AREA IN FRONT OF THE DOORWAY SHALL COMPLY WITH 406 OF THE ADA CODE.

HANDRAILS -

IF A RAMP RUN HAS A RISE GREATER THAN 1:50 OR A HORIZONTAL PROJECTION GREATER THAN 12 INCHES, IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMP OR ADJACENT TO SEATING IN ASSEMBLY AREAS. HANDRAILS SHALL COMPLY WITH 436 OF THE ADA CODE AND SHALL HAVE THE FOLLOWING FEATURES:

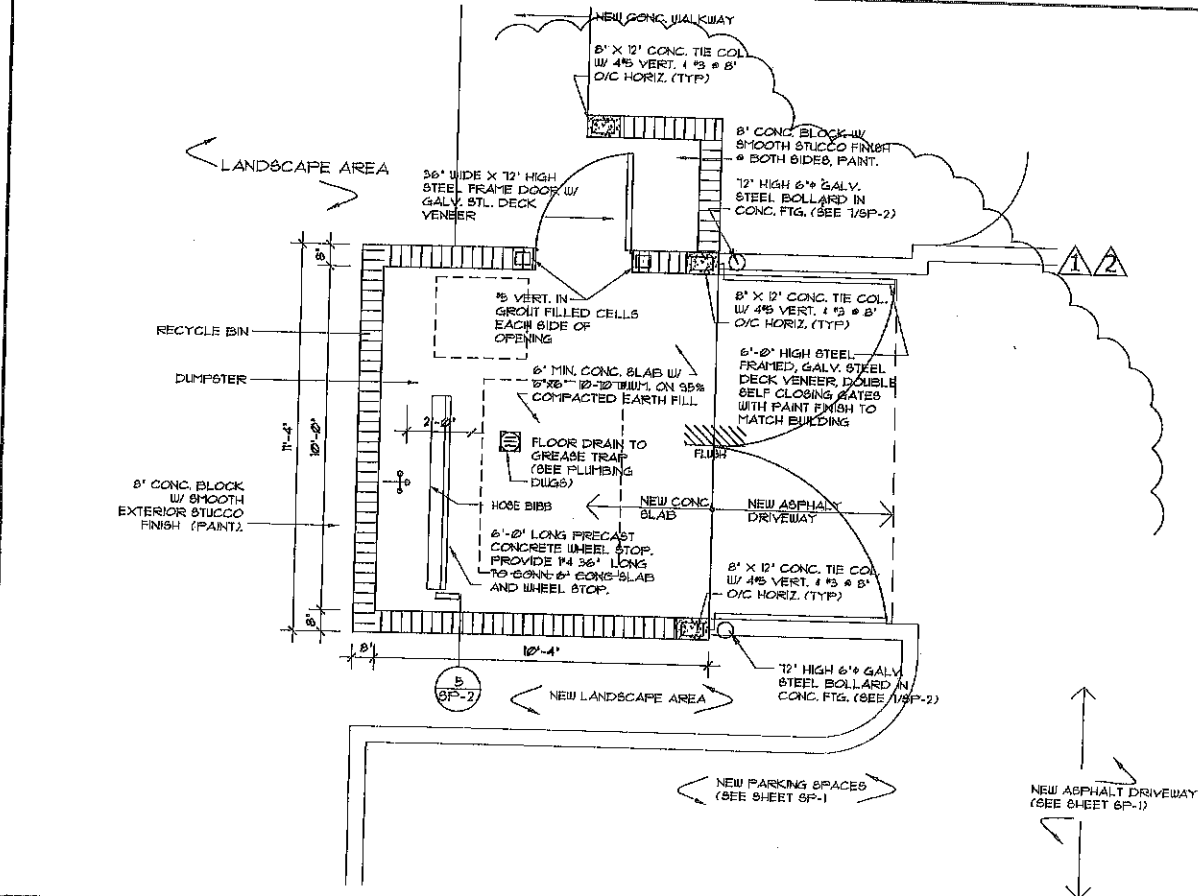
1. HANDRAILS SHALL BE PROVIDED ALONG BOTH SIDES OF RAMP RUNS, THE ASIDE HANDRAIL ON SHUTTERBACK OR DOOR TO RAMP SHALL ALWAYS BE CONTINUOUS.
2. HANDRAILS (WHICH ARE NOT CONTINUOUS) SHALL EXTEND 120 INCHES FROM THE FLOORED OR GRADED SURFACE TO THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1 1/2 INCH.
3. GRIPPING SURFACES SHALL BE CONTINUOUS.
4. TOP OF HANDRAIL GRIPPING SURFACES SHALL BE MOUNTED BETWEEN 34 INCHES AND 38 INCHES ABOVE RAMP SURFACES.
5. BARS OF HANDRAILS SHALL BE EITHER ROUNDED OR FINISHED SMOOTHLY TO FLOOR, WALL OR POST.
6. HANDRAILS SHALL NOT DEVIATE WITH THEIR FITTINGS.

CROSS SLOPE SURFACES - THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:50. RAMP SURFACES SHALL COMPLY WITH 405 OF THE ADA CODE.

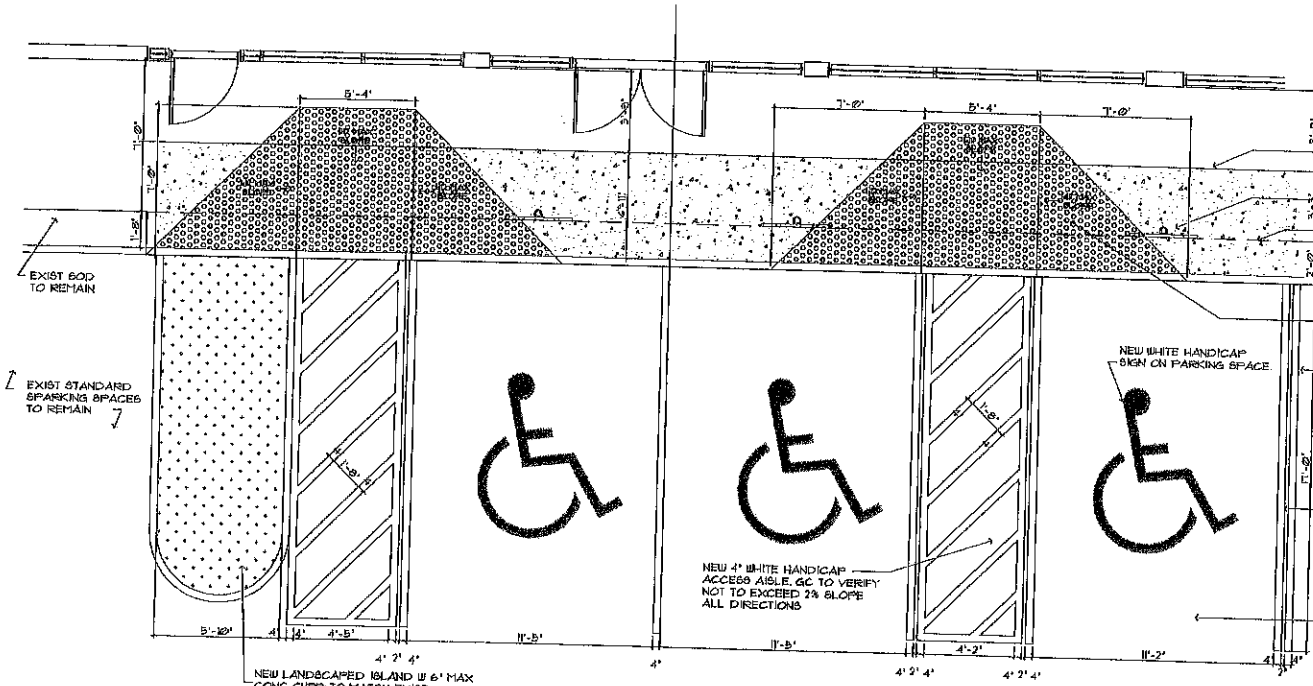
EDGE PROTECTION - RAMP AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, WALLS, RAILINGS OR PROTECTIVE SURFACES THAT PREVENT PEOPLE FROM FALLING OFF THE RAMP. CURBS SHALL BE A MINIMUM OF 2 INCHES.

OUTDOOR CONDITIONS - OUTDOOR RAMP AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.

6 SITE ACCESSIBILITY NOTES



1 NEW DUMPSTER ENCLOSURE DETAIL



2 HANDICAPPED PARKING DETAIL

SCALE: 3/8" = 1'-0"

SCALE: 1/4" = 1'-0"



JOSEPH B. KALLER & ASSOCIATES, P.A.
A.A.# 26082212
2417 Hollywood Blvd., Hollywood, Florida 33020
P. 305.980.5745 F. 305.935.2611
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA P.A. # 0009239

PROJECT TITLE
ADDITION TO BEILE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33024

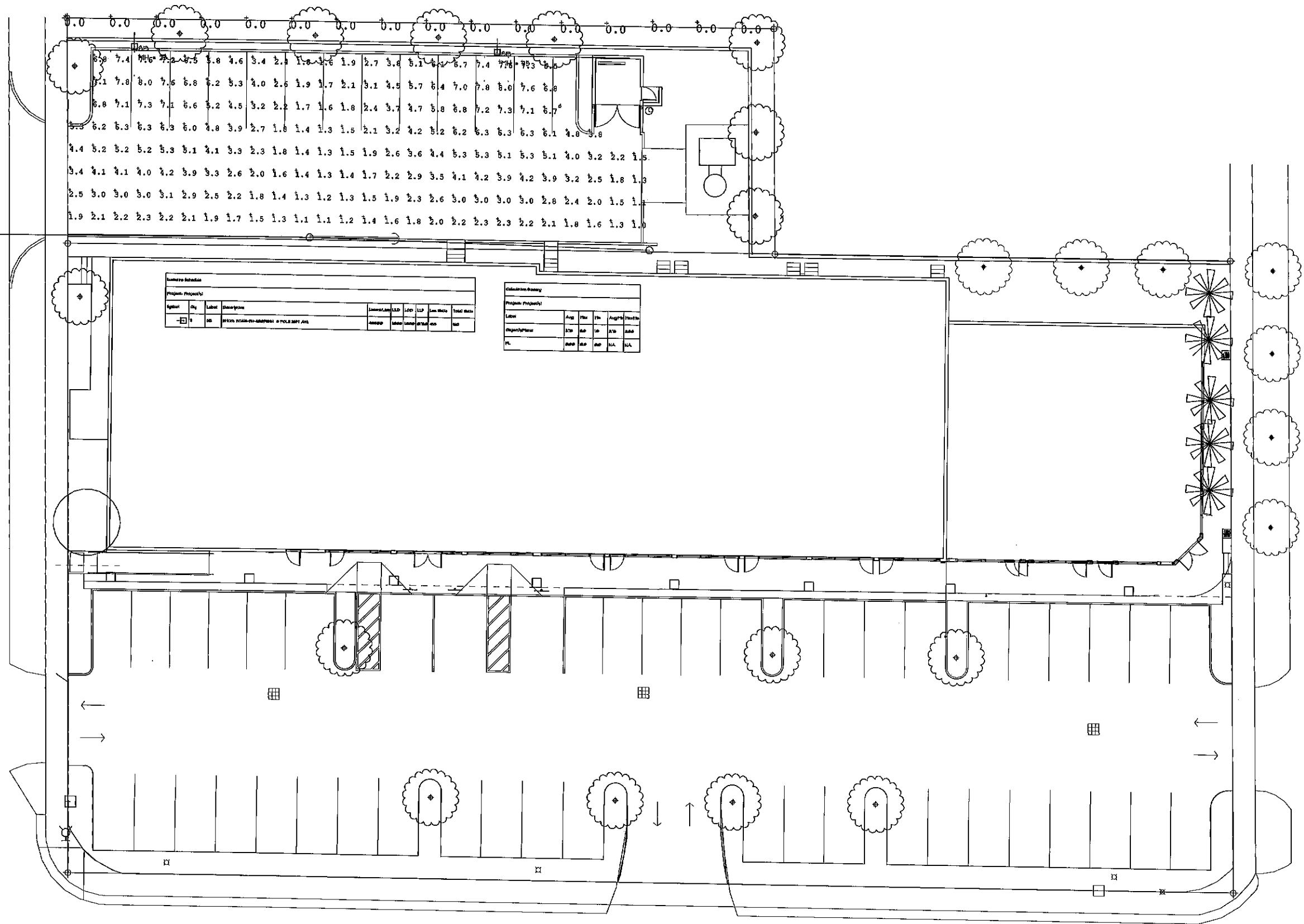
SHEET TITLE
PHOTOMETRIC PLAN

REVISIONS		
No.	DATE	DESCRIPTION

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PROJECT No.: 10158
DATE: 4-22-11
DRAWN BY: JMEP
CHECKED BY: JBK

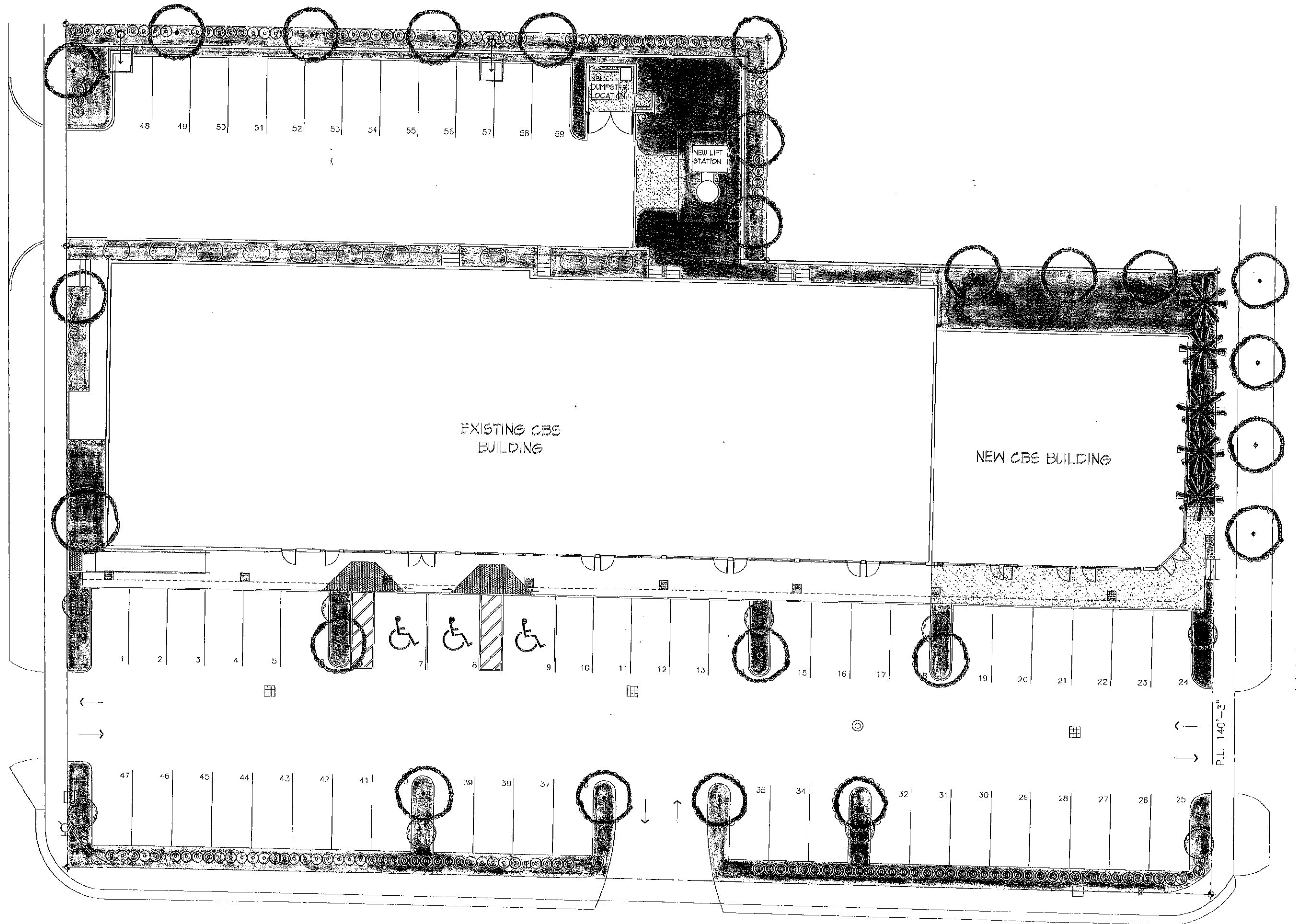
SHEET
PH-1



Summary Schedule									
Project Property:									
Symbol	Qty	Label	Description	Amount	LED	L2D	L3D	Sum Value	Total Value

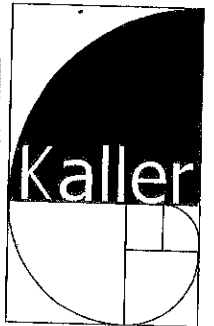
Calculation Summary									
Project Property:									
Label	Area	Per	Th	Height	Footcandle				

N.W. 61st TERRACE



N.W. 61st AVENUE

HOLLYWOOD BOULEVARD



JOSEPH B. KALLER
&
ASSOCIATES, P.A.
A/E 25601212
2417 Hollywood Blvd., Hollywood, Florida 33020
P 454.920.8749 F 454.920.0941
joseph@kallerassociates.com

SEAL

JOSEPH B. KALLER
FLORIDA P.E. # 0008239

PROJECT TITLE
ADDITION TO BEILE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33024

LANDSCAPE PLAN
LEGEND & CALCULATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1	01.28.12	PLANNING
2	03.09.12	PLANNING
3	03.15.12	PLANNING

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PROJECT No.: 10158
DATE: 7-15-11
DRAWN BY: JMEP / RH
CHECKED BY: JBK

SHEET

L-1

N.W. 61st AVENUE



SCALE: 3/32" = 1'-0"

LANDSCAPE CALCULATIONS	
VIA FRONT PARKING:	14,991 SF.
VIA REAR PARKING:	4,792 SF.
VIA TOTAL PARKING:	19,783 SF.
LANDSCAPING REQUIRED:	19,783 X 25% SF.
	= 4,946 SF.
LANDSCAPING PROVIDED:	5,285 SF.
VIA TOTAL REAR LOT ONLY:	4,792 SF.
LANDSCAPING REQUIRED:	4,792 X 25% SF.
	= 1,198 SF.
LANDSCAPING PROVIDED:	2,444 SF.
	44% OF VIA

LANDSCAPE LEGEND		
QUANTITY	KEY	DESCRIPTION
28	○	RED MAPLE
5	✱	SILVER PALM
81	JC	JAMAICA CAPER
24	SJ	MARLBERRY
9	FP	PAUPAUB
10	CP	COCOPLUM

NOTE:
1. NO CHANGES WILL BE MADE TO THE LANDSCAPE PLAN WITHOUT APPROVAL FROM THE CITY LANDSCAPE REVIEWER.
2. 100% IRRIGATION WILL BE PROVIDED.
3. TREES SHALL NOT BE RELOCATED OR REMOVED WITHOUT A TREE PERMIT.
4. ALL TREES, PALMS AND SHRUBS ARE 100% NATIVE FLORIDA PLANTS

ADJACENT SITE ZONED: RM-12
NOTE: LIGHTING WILL NOT EXCEED 0.5 FOOT-CANDLES WHEN ADJACENT TO RESIDENTIAL PROPERTIES.

P.L. 258'-0"

NEW 4'-0" HIGH 8' CHU FENCE

NEW 6'-0" CBS OPAQUE FENCE

NEW DUMPS

NEW LIFT STATION

LANDSCAPED AREA

NEW 4'-0" HIGH 8' CHU FENCE

NEW 6'-0" CBS OPAQUE FENCE

NEW DUMPS

NEW LIFT STATION

LANDSCAPED AREA

NEW 4'-0" HIGH 8' CHU FENCE

NEW 6'-0" CBS OPAQUE FENCE

NEW DUMPS

NEW LIFT STATION

LANDSCAPED AREA

NEW 4'-0" HIGH 8' CHU FENCE

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NEW LIFT STATION

LANDSCAPED AREA

NEW 4'-0" HIGH 8' CHU FENCE

NEW 6'-0" CBS OPAQUE FENCE

NEW DUMPS

NEW LIFT STATION

LANDSCAPED AREA

NEW 4'-0" HIGH 8' CHU FENCE

NEW 6'-0" CBS OPAQUE FENCE

EXISTING CBS BUILDING TO REMAIN AS IS
1936 SF.
F.F.E. 12.75 FT.

NEW CBS BUILDING
2990 SF.
F.F.E. 12.75 FT.

NOTE:
EXIST PARKING LOT, RAMP AND ACCESSIBLE PARKING SPACES WERE PREVIOUSLY APPROVED THROUGH PROCESS # B10-104717

SITE ZONED: C-4

ADJACENT SITE ZONED: C-4

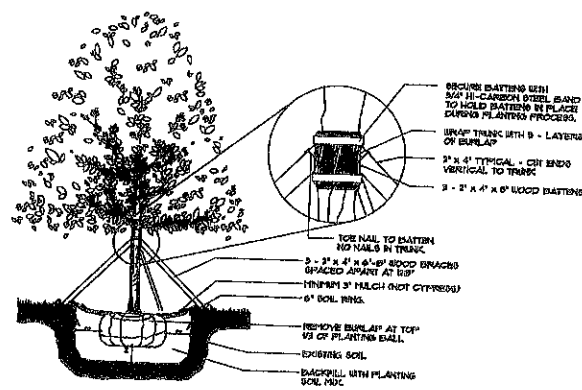
HOLLYWOOD BOULEVARD

N.W. 61st TERRACE

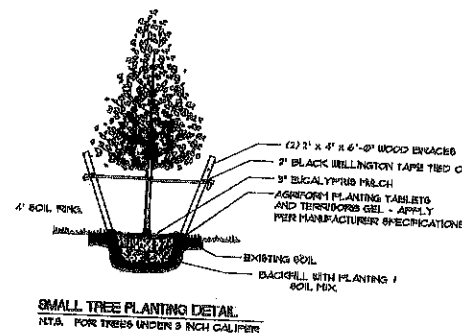
ADJACENT SITE ZONED: C-4

LANDSCAPE PLAN

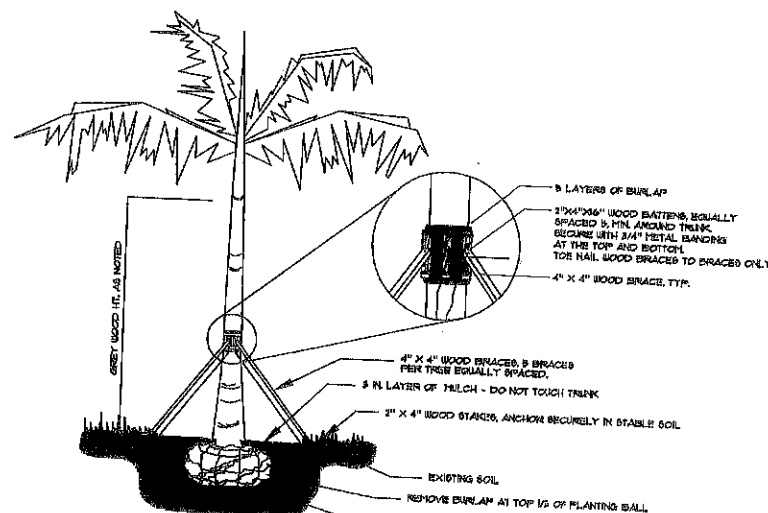
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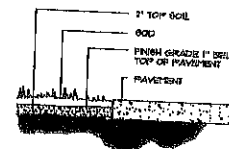
LARGE TREE PLANTING DETAIL
N.T.S. FOR TREES OVER 4 INCH CALIPER



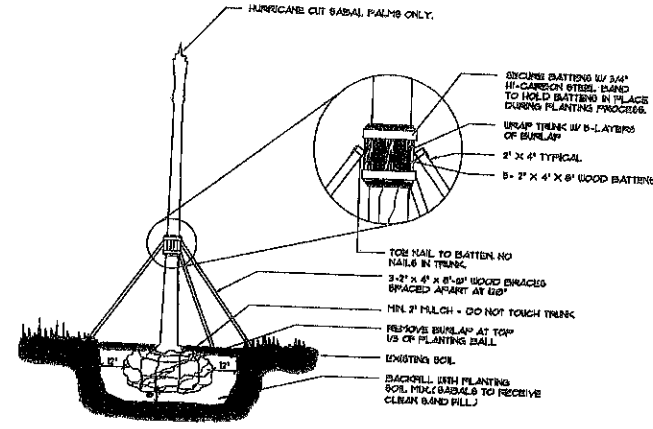
SMALL TREE PLANTING DETAIL
N.T.S. FOR TREES UNDER 4 INCH CALIPER



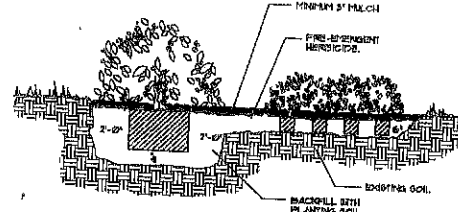
ROYAL PALM PLANTING DETAIL
N.T.S.



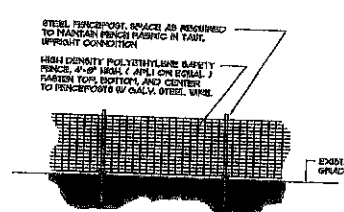
SOD INSTALLATION DETAIL (TYP)
N.T.S.



SABAL PALM PLANTING DETAIL
N.T.S.



SHRUB AND GROUND COVER DETAIL
N.T.S.



TREE PROTECTION / TEMPORARY BARRIER DETAIL
N.T.S.

LANDSCAPE NOTES:

I. LANDSCAPE:

A. GENERAL CONDITIONS AND REQUIREMENTS

- 1) WORK TO INCLUDE FURNISHING LABOR, MATERIALS, TOOLS AND EQUIPMENT, OBTAINING NECESSARY PERMITS, INSTALLING ALL MATERIALS NECESSARY TO COMPLETE IN PLACE THE LANDSCAPING AS SHOWN ON THE PLANS AND AS HEREIN SPECIFIED.
- 2) THE INSTALLATION SHALL COMPLY WITH ALL REGULATIONS OF THE COUNTY AND THE STATE OF FLORIDA. ALL LICENSES, PERMITS AND INSPECTIONS REQUIRED SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR. AT COMPLETION OF THE WORK, THE CONTRACTOR WILL TRANSMIT ALL APPLICABLE CERTIFICATES OF INSPECTION TO THE OWNER OR AUTHORIZED REPRESENTATIVE.
- 3) THE CONTRACTOR AND THE LANDSCAPE SUBCONTRACTOR SHALL PROVIDE A QUALIFIED FOREMAN PRESENT ON THE SITE AT ALL TIMES. THE FOREMAN SHALL BE WELL-VERSED IN READING AND UNDERSTANDING PLANS, ABOUT SOUTH FLORIDA PLANT MATERIAL AND ITS PROPER HANDLING. THE FOREMAN SHALL BE A FULLY AUTHORIZED AGENT OF THE CONTRACTOR, CAPABLE OF MAKING ON-SITE DECISIONS.

B. MATERIALS:

- 1) PLANT SIZE: ALL SIZES SHOWN FOR PLANT MATERIALS ON THE PLAN ARE TO BE CONSIDERED AS MINIMUMS. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN WILL ALSO BE REQUIRED FOR ACCEPTANCE.
- 2) PLANT QUALITY: ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR UNLESS OTHERWISE SPECIFIED, SHALL BE FLORIDA GROWN, OR BETTER, AND SHALL BE INSTALLED AS SPECIFIED IN GRASSES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION.
- 3) PLANTS NOT LISTED IN "GRASSES AND STANDARDS FOR NURSERY PLANTS" SHALL CONFORM TO THE FLORIDA STANDARDS SPECIFIED FOR PLANTS LISTED WITH SIMILAR GROWTH HABITS. THE PLANT STANDARDS TO BE MET INCLUDE FREEDOM FROM PEST AND MECHANICAL DAMAGE, FOLIAGE CONDITION, TRUNK AND BRANCHING HABIT, AND ROOT CONDITION.
- 4) BALLED AND BURLAPPED (BBB) PLANTS SHALL BE HANDLED BY THE ROOTBALL ONLY. PLANTS WITH CRACKED OR LOOSE ROOTBALLS WILL NOT BE ACCEPTED. ROOTBALLS ARE TO BE A SIZE NORMAL TO SOUND NURSERY PRACTICES. ROOT SYSTEMS SHALL BE WELL-BRANCHED AND FIBROUS.

- 5) CONTAINER GROWN PLANTS SHALL BE WELL-ROOTED. PLANTS THAT ARE PROPORTIONATELY LARGE FOR THE CONTAINER SIZE WILL NOT BE ACCEPTED.
- 6) PLANTS GROWN IN PLATS SHALL BE WELL-ROOTED AND HEAVILY FOLIAGED.
- 7) ROOT PRUNING: PLANTS SHALL BE ROOTPRUNED OR CAISED DIEBACK OR DEFOLIATION IN EXCESS OF TWENTY-FIVE PERCENT UNLESS ATTRIBUTED TO SEASONAL CHANGE. PLANTS EXHIBITING THESE CHARACTERISTICS WILL BE REMOVED AT THE REQUEST OF THE OWNER OR AUTHORIZED REPRESENTATIVE.
- 8) PALMS: ALL PALMS SHALL BE FLORIDA GRADE NO. 1, OR BETTER, AS SPECIFIED IN "GRASSES AND STANDARDS FOR NURSERY PLANTS" - LATEST COPY UNLESS OTHERWISE SPECIFIED. ALL NON-SABAL PALMETTO SHALL BE FREE OF FROND BOOTS. PALMS WITH BURIED OR IRREGULAR TRUNKS, TRUNKS WITH SCARS WILL BE UNACCEPTABLE. REMOVE ALL DEAD OR DAMAGED FRONDS AND TRUNKS BY NO MORE THAN ONE-THIRD OF PALM HEAD.

- 9) SUBSTITUTIONS: SUBSTITUTIONS OF PLANT TYPE OR SIZE WILL NOT BE ACCEPTED UNLESS SUBSTANTIAL DOCUMENTATION IS SUBMITTED SHOWING THE UNAVAILABILITY OF THE PARTICULAR PLANT TYPE OR SIZE. CONTRACTOR TO CONTACT L.A. PRIOR TO BID.
- 10) PLANTING SOIL: ALL PLANT MATERIAL INSTALLED SHALL BE PLANTED WITH TOPSOIL THAT IS CLEAN AND COMPLETELY FREE OF CONSTRUCTION DEBRIS, WEEDS, VISIBLE WEED SEEDS, NOxious PESTS, ROCKS, DISEASE, AND MATERIALS. THE TOPSOIL IS TO BE FIFTY PERCENT MUCK AND FIFTY PERCENT SAND.
- 11) MULCH: ALL MULCH SHALL BE GRADE 1 "SPANISH GOLD" MULCH OR APPROVED EQUAL.

C. INSTALLATION:

- 1) PLANTING BEDS: THE PLANTING BEDS SHALL BE PREPARED TO PROVIDE ADEQUATE DRAINAGE FOR GOOD PLANT GROWTH. THE CONTRACTOR SHALL REPORT IN WRITING ANY CONTAMINANTS DISCOVERED IN A PLANTING BED THAT WOULD INHIBIT GOOD PLANT GROWTH TO THE OWNER OR HIS AGENT, PRIOR TO PLANTING IN SUCH A CONTAMINATED PLANT BED.
- 2) FERTILIZER: TREES AND SHRUBS SHALL BE FERTILIZED WITH 20-10-10 NITROGEN-PHOSPHOROUS AND POTASSIUM ANALYSIS AT THE APPLICATION RATES AS FOLLOWS:

CONTAINER SIZE:	APPLICATION RATE:
12 CONTAINER	1 TABLET
18 CONTAINER	2 TABLETS
24 CONTAINER	4 TABLETS
36 CONTAINER	7 TABLETS

- 3) TREES - 1 TABLET FOR EACH 1/2 INCH OF TRUNK DIAMETER MEASURED 18" ABOVE FINISHED GRADE

- 4) ALL PALMS, SHRUBS AND GROUNDCOVERS (NOT INCLUDING ORNITHOGALON SP. OR ANY BROMBELAD SPECIES) SHALL BE FERTILIZED WITH AN APPROVED GRANULAR "PALM SPECIAL" FERTILIZER 8-3-10 (N-P-K) MINIMUM 50% SLOW RELEASE RATE BY LEBCO CONTAINING MINOR ELEMENTS INCLUDING IRON, MANGANESE, MAGNESIUM AND ZINC. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S SPEC'S.

- 5) MULCH: ALL TREES IN SOD AREAS ARE TO HAVE A 150" INCH RAISED SOIL RING COVERED WITH A (2) INCH LAYER OF "SPANISH GOLD" RECYCLED MULCH. COVER ALL SHRUB AND GROUND COVER BEDS WITH A (2) INCH LAYER OF MULCH. DO NOT LET MULCH TOUCH OUTER BARK OF ANY PLANT.

- 6) WATERING: HAND WATERING SHALL BE DONE AS PLANTING SOIL UNIFORMLY MOIST TO MAINTAIN A HEALTHY GROWING CONDITION UNTIL FINAL JOB ACCEPTANCE BY THE OWNER OR AUTHORIZED REPRESENTATIVE. ANY PLANTS WITH ROOT MASSSES THAT DRY OUT WILL NOT BE ACCEPTABLE.

- 7) SODDING: PLACE ST. AUGUSTINE FLORITANT SOD IN PAVING AS NOTED ON THE PLANS. THE SOD AND SOD BED SHALL BE THICK, WELL-MATTED AND EVENLY CUT. THE SOD SHALL BE STRONG ENOUGH SO IT REMAINS ITS SHAPE WHEN HANDLED BY THE TOP GRASS BLADES. THE SOD PIECE SHALL BE A MINIMUM 12" X 24" SIZE. THE SOD BED IS TO BE WELL-COMPACTED AND EVEN. THE SOD SHALL BE LAID BY HAND SO THERE ARE NO GAPS OR VOIDS BETWEEN OR BLOWS. THE ROWS SHALL RUN 90° TO THE SLOPE DIRECTION. ROLL OR HAND TAMP THE SOD IMMEDIATELY AFTER INSTALLATION AND COMMENCE WATERING. THE SOD LEVEL SHALL BE SET SO WATERFLOWS FROM ADJACENT SURFACES IS NOT IMPEDED. MAINTENANCE OF THE SOD WILL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE BY THE OWNER OR AUTHORIZED REPRESENTATIVE. MOWING SHALL BE DONE OFTEN ENOUGH SO NO MORE THAN ONE-THIRD THE HEIGHT OF THE GRASS BLADE IS REMOVED. THE SOD SHALL BE GUARANTEED FREE OF WEEDS AND PESTS THAT AFFECT ITS UNIFORM APPEARANCE FOR NINETY DAYS. SOD LINES AT SHRUB BEDS, TREE RINGS AND PAVEMENTS SHALL BE CUT EVEN AND SHARP.

TREE CUTTING AND STAKING: SEE PLANTING DETAILS

- 1) PLANTING: REMOVE THE EXCAVATED SOIL MATERIAL FROM THE PLANT HOLES. INSTALL PLANT AT CORRECT LEVEL (SEE DETAIL). A DEPTH OF SIX INCHES. SHRUB PLANTING AREAS ARE TO BE EXCAVATED SIX INCHES DEEPER THAN THE ROOT DEPTH AND SIX INCHES GREATER IN RADIUS. TREES WITH PLANTING STRIPS SIX INCHES DEEPER THAN THE ROOT DEPTH AND SIX INCHES WIDER ON EACH SIDE OF THE PLANTS. EXCAVATE ALL TREE PLANTING HOLES TWELVE INCHES DEEPER THAN THE ROOTBALL DEPTH. LOOSEN THE BOTTOM OF THE HOLE SIX INCHES DEEPER THAN THE REQUIRED HOLE DEPTH. TREES WITH ROOTBALLS TWO FEET IN DIAMETER OR LESS SHALL BE PLANTED IN HOLES ONE FOOT GREATER IN RADIUS. TREES WITH FOUR FEET IN DIAMETER SHALL BE PLANTED IN HOLES EIGHTEEN INCHES GREATER IN RADIUS.

- 8) SET ALL PLANTS ON A FIRM WELL-COMPACTED BASE IN A STRAIGHT UPRIGHT POSITION AT THE SAME DEPTH AS BEFORE TRANSPLANTING TO THE TOP OF THE SURROUNDING FINISHED GRADE. WHEN BACKFILLING AROUND THE PLANTS, TAMP AND WATER IN THE TOP SOIL TO ELIMINATE AIRPOCKETS, RELEVEL, AND THE JOB. THE OWNER OR AUTHORIZED REPRESENTATIVE WILL REQUIRE PLANTS BE RESET IF NOT SET PROPERLY.

- 9) PRUNING: ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH STANDARDS SET FORTH BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE. LIMIT TO THE PARENT STEM IF NECESSARY TO COMPENSATE FOR ROOTS LOST IN TRANSPLANTING. NO PRUNING SHALL BE DONE TO ADVERSELY AFFECT THE NATURAL HABIT OR SHAPE OF PLANTS UNLESS OTHERWISE SPECIFIED. ROOTS THAT ARE BROKEN OR JAGGED SHALL BE CUT CLEANLY. THE OWNER OR AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REQUIRE ADDITIONAL PRUNING FOR AESTHETIC OR OTHER REASONS.

- 10) FINAL COMPLETION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE JOB SITE FREE OF ALL CONSTRUCTION DEBRIS AND IN AN ORDERLY STATE. CLEAN ALL WALKS, PAVING, AND SITE FEATURES OF DIRT, TREE MARKS AND OTHER DEBRIS. BEDDING OF PLANT BEDS WILL BE DONE UNTIL THE JOB IS COMPLETE AND ACCEPTED BY THE OWNER OR AUTHORIZED REPRESENTATIVE. UNTIL FINAL ACCEPTANCE, THE PLANT MATERIALS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 11) GUARANTEE: ALL PLANT MATERIAL AND WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL JOB ACCEPTANCE. DURING THE ONE YEAR GUARANTEE, ANY CONDITION SHALL BE REPLACED WITH AN UNHEALTHY PLANT TYPE AT LEAST EQUAL TO THE SIZE AND QUALITY ORIGINALLY SPECIFIED. THE REPLACEMENT MATERIAL SHALL BE INSTALLED WITHIN (2) WEEKS OF NOTICE FROM OWNER OF ITS INSTALLATION. THE GUARANTEE WILL BE NULL AND VOID IF PLANT MATERIAL IS DAMAGED OR KILLED BY LIGHTNING, HURRICANE FORCE WINDS, HAIL OR FREEZE.
- 12) EXCESS SUITABLE MATERIAL: UPON DIRECTION OF THE OWNER, OR AUTHORIZED REPRESENTATIVE, ALL VEGETATION, DEBRIS, CONCRETE, OR OTHER UNSUITABLE MATERIALS SHALL BE DISPOSED IN A SUITABLE MANNER BY THE CONTRACTOR.

- 13) CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CARE SHOULD BE TAKEN NOT TO DISTURB OR DAMAGE ANY UTILITIES. ANY DAMAGE WILL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR IN A MANNER APPROVED BY THE OWNER'S REPRESENTATIVE WHERE UNDERGROUND CONSTRUCTION OR OBSTRUCTION WILL NOT PERMIT THE INSTALLATION PER PLANS, NEW LOCATIONS FOR THE PLANT MATERIAL WILL BE DESIGNATED BY THE L.A.
- 14) TREE LOCATIONS ARE TO BE STAKED IN THE FIELD PRIOR TO INSTALLATION. LOCATIONS ARE SCHEMATIC AND MAY REQUIRE ADJUSTMENT. IN EVENT OF CONFLICTS WITH UTILITIES, EXISTING PLANT MATERIAL, ETC., LANDSCAPE ARCHITECT TO APPROVE FINAL LOCATIONS PRIOR TO PLANTING.
- 15) ALL TREES AND PALMS TO BE THOROUGHLY WATERED IN AT PLANTING. TREES AND PALMS SHALL BE STAKED TO ASSURE PROPER ALIGNMENT AND STABILITY.
- 16) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES FOR MATERIAL ON DRAWINGS PRIOR TO SUBMITTING BID. THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST, FINAL SOD, MULCH, AND TOPSOIL QUANTITIES ARE TO BE MADE BY THE CONTRACTOR.

Kaller

JOSEPH B. KALLER
&
ASSOCIATES, P.A.
JAA 2600282
2417 Hollywood Blvd., Hollywood, Florida 33020
P 954.525.5766 F 954.928.2841
joseph@kallerassociates.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0009239

PROJECT TITLE
ADDITION TO BEILE CENTER

LANDSCAPE NOTES
AND DETAILS

6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33024

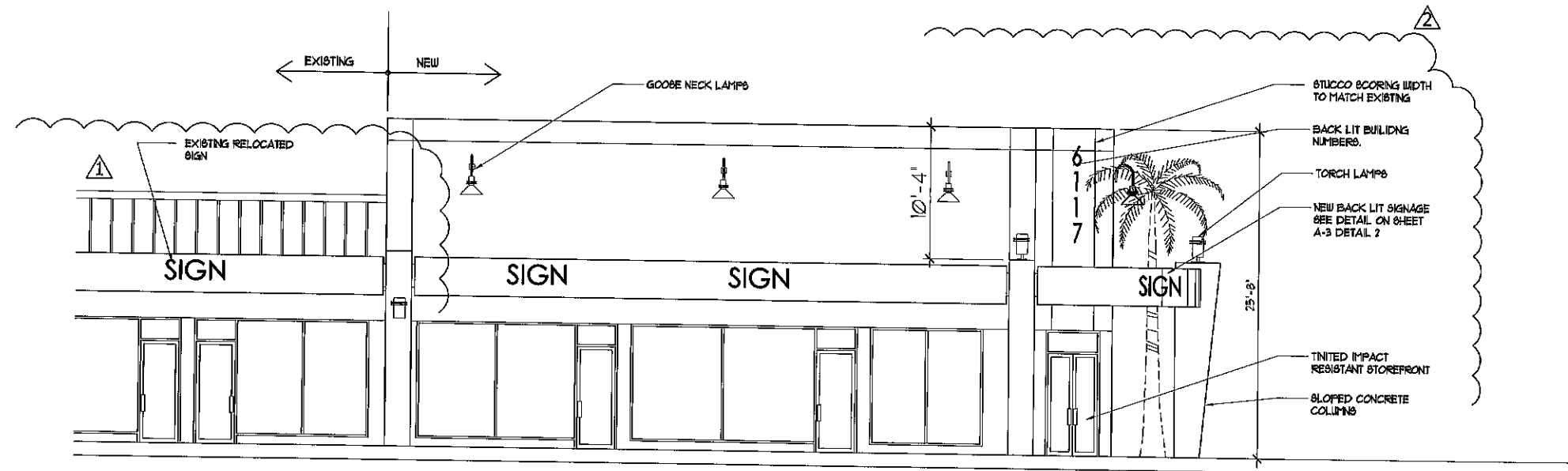
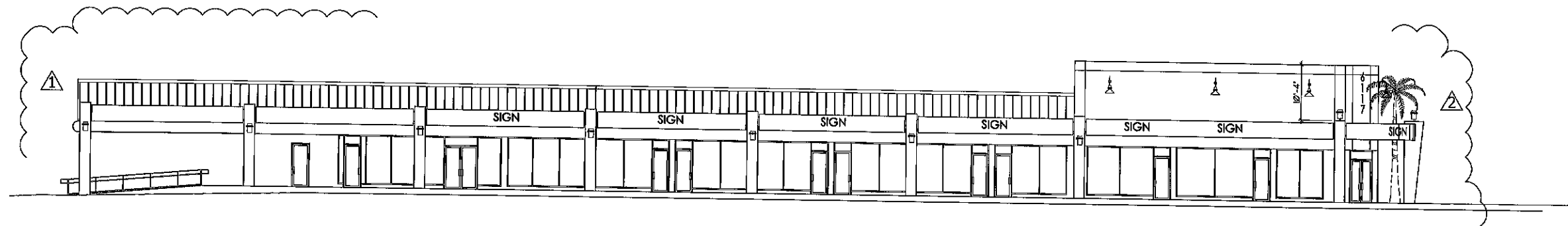
REVISIONS		
No.	DATE	DESCRIPTION

PROJECT No.: 10158
DATE: 7-15-11
DRAWN BY: JMEP / RH
CHECKED BY: JMK

SHEET

L-2

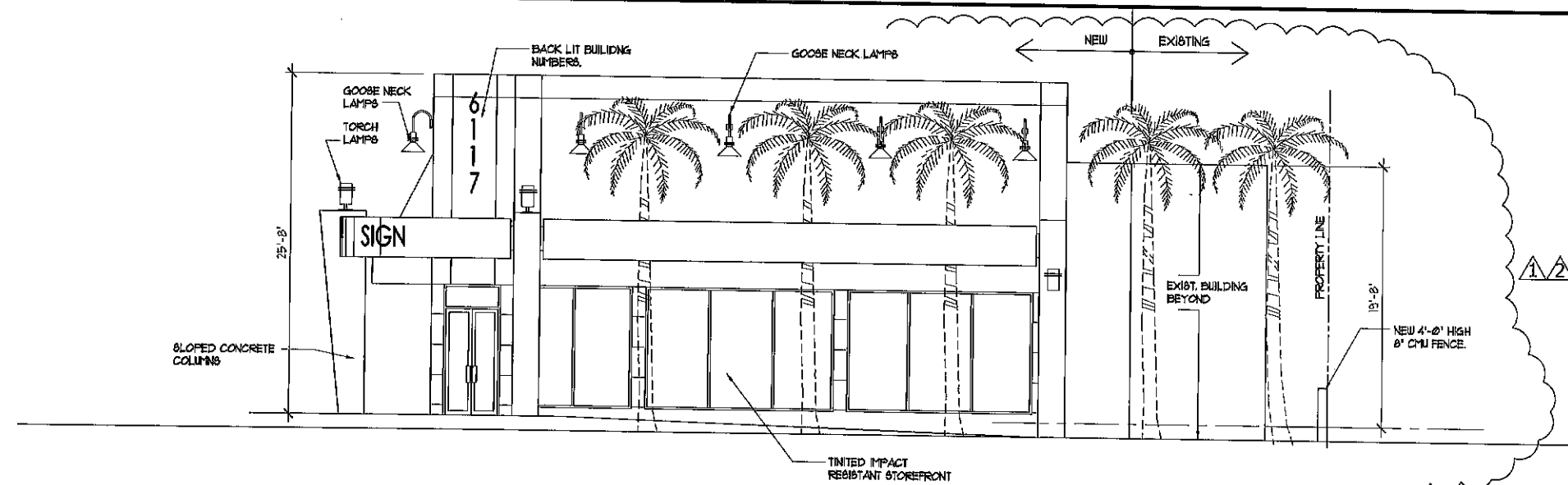
SCALE: " = NTS



PARTIAL SOUTH ELEVATION

1 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



2 EAST ELEVATION

SCALE: 3/16" = 1'-0"



JOSEPH B. KALLER
&
ASSOCIATES, P.A.
A/E 36004232
2417 Hollywood Blvd., Hollywood, Florida 33029
P 954.960.5746 F 954.926.2841
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0039239

PROJECT TITLE
ADDITION TO BELLE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33024

SHEET TITLE
ELEVATIONS

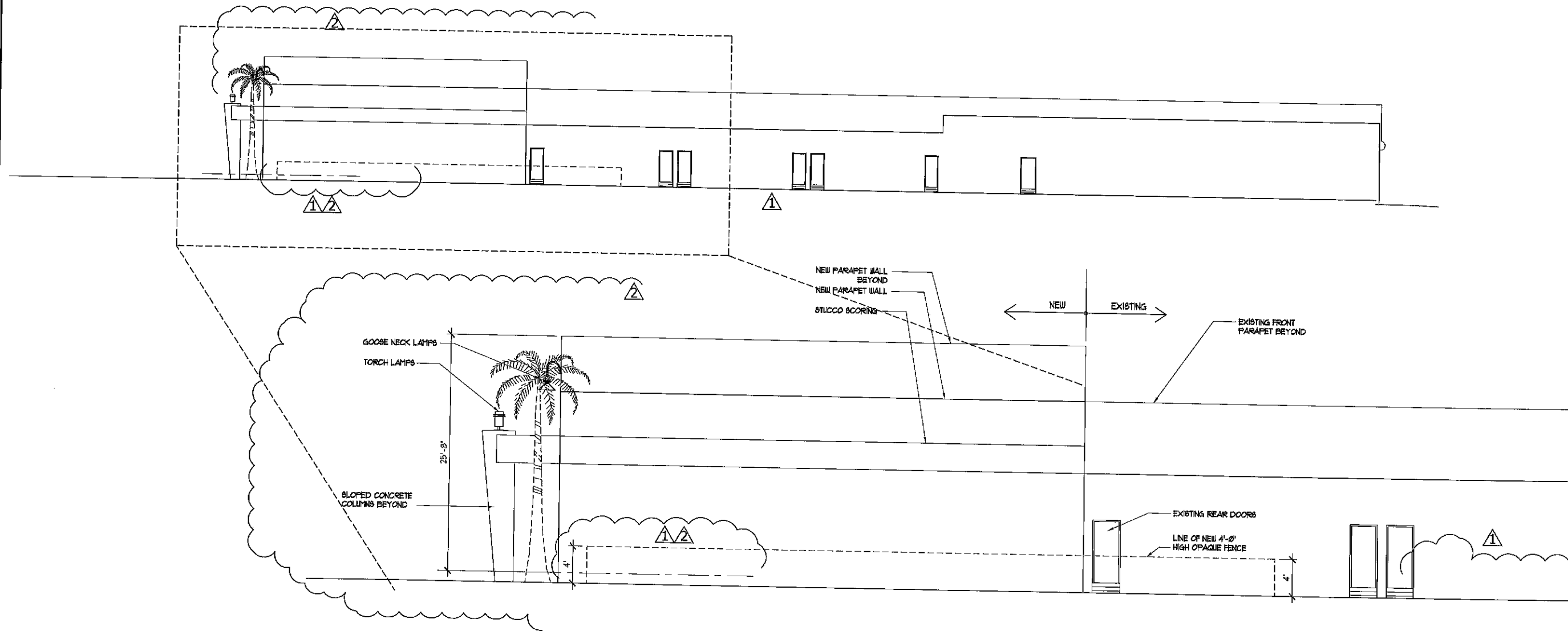
REVISIONS		
No.	DATE	DESCRIPTION
1	01.23.12	PLANNING
2	03.15.12	PLANNING

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DATE: 4-22-11
DRAWN BY: JMEP
CHECKED BY: JJK

SHEET

A-2



PARTIAL NORTH ELEVATION

1 NORTH ELEVATION

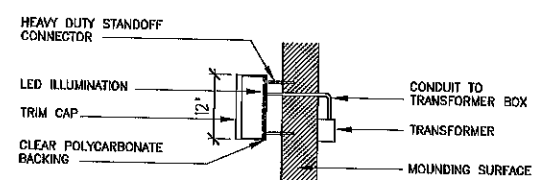
NOTE:
SEPARATE SIGN PERMIT
REQUIRED.
MINIMUM SIZE REQUIRED IS 250 SF.
MAXIMUM SIZE ACCEPTABLE IS 1900 SF.

16'-6"
RETAIL SIGN

BACK LIT SIGNAGE 250 SF.

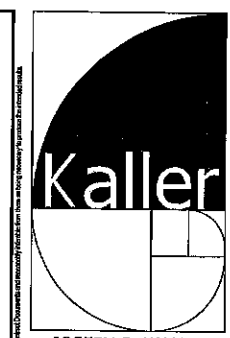
6
1
1
7

BACK LIT BUILDING
NUMBERS 10,000 SF.



12" HT. LETTER SIGN W/ BACKLIT
FIXTURES. SIGN TO BE INSTALLED
AS PER MANUFACTURER'S
INSTRUCTIONS

2 SIGNAGE DETAIL



JOSEPH B. KALLER
&
ASSOCIATES, P.A.
A.A.# 25001212
2417 Hollywood Blvd., Hollywood, Florida 33029
P 954.920.8746 F 954.920.2844
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA R.A. # 0029239

PROJECT TITLE
ADDITION TO BEILE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33024

SHEET TITLE
ELEVATIONS

REVISIONS		
No.	DATE	DESCRIPTION
1	01.23.12	PLANNING
2	03.15.12	PLANNING

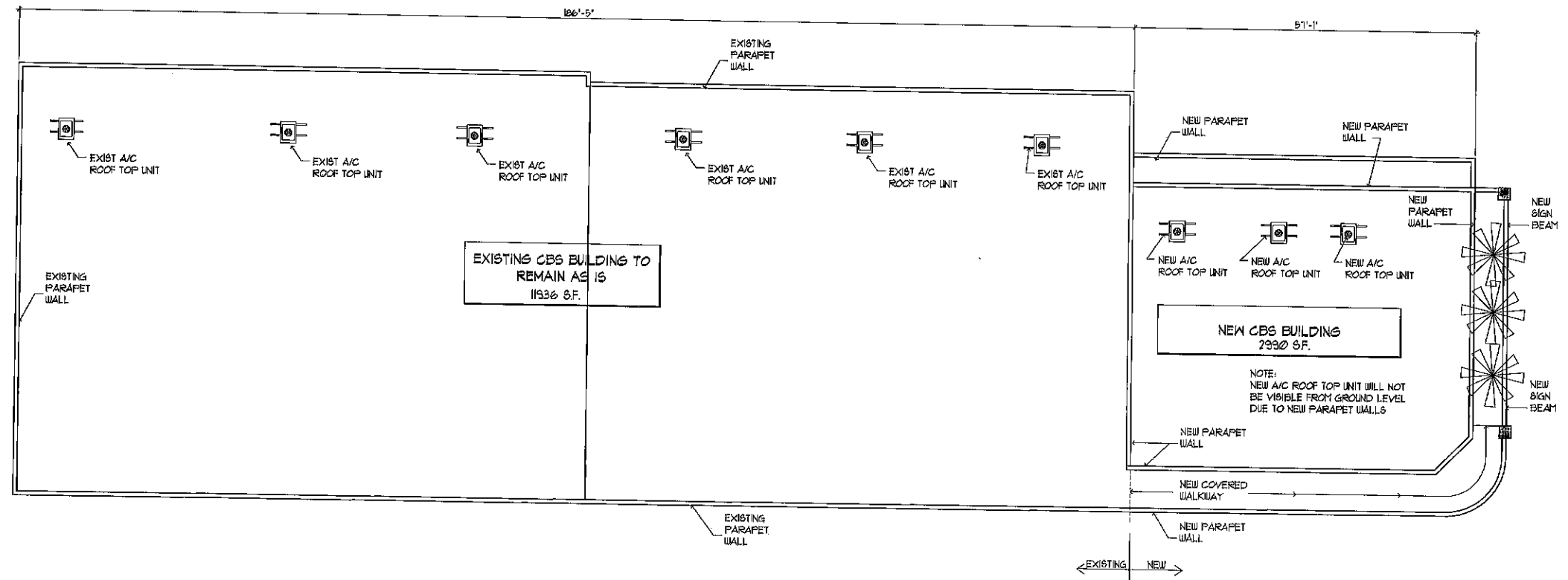
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DATE: 4-22-11
DRAWN BY: JMEP
CHECKED BY: JBK

SHEET

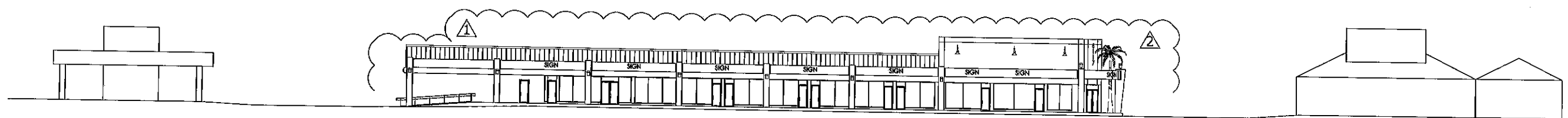
A-3

SCALE: 3/16" = 1'-0"



1 ROOF PLAN

SCALE: 3/32" = 1'-0"



2 CONTEXTUAL STREET ELEVATION

SCALE: NT6

Kaller

JOSEPH B. KALLER & ASSOCIATES, P.A.
A/E 3006212
2417 Hollywood Blvd., Hollywood, Florida 33020
P 954.520.5746 F 954.502.2648
joseph@kallerarchitects.com

SEAL

JOSEPH B. KALLER
FLORIDA P.A. # 0009239

PROJECT TITLE
ADDITION TO BELLE CENTER
6117 HOLLYWOOD BOULEVARD
HOLLYWOOD, FLORIDA 33024

SHEET TITLE
CONTEXTUAL STREET
ELEVATION
ROOF PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	01.23.12	PLANNING
2	03.15.12	PLANNING

PROJECT No.: 10158
DATE: 4-22-11
DRAWN BY: JMEP
CHECKED BY: JBK

SHEET

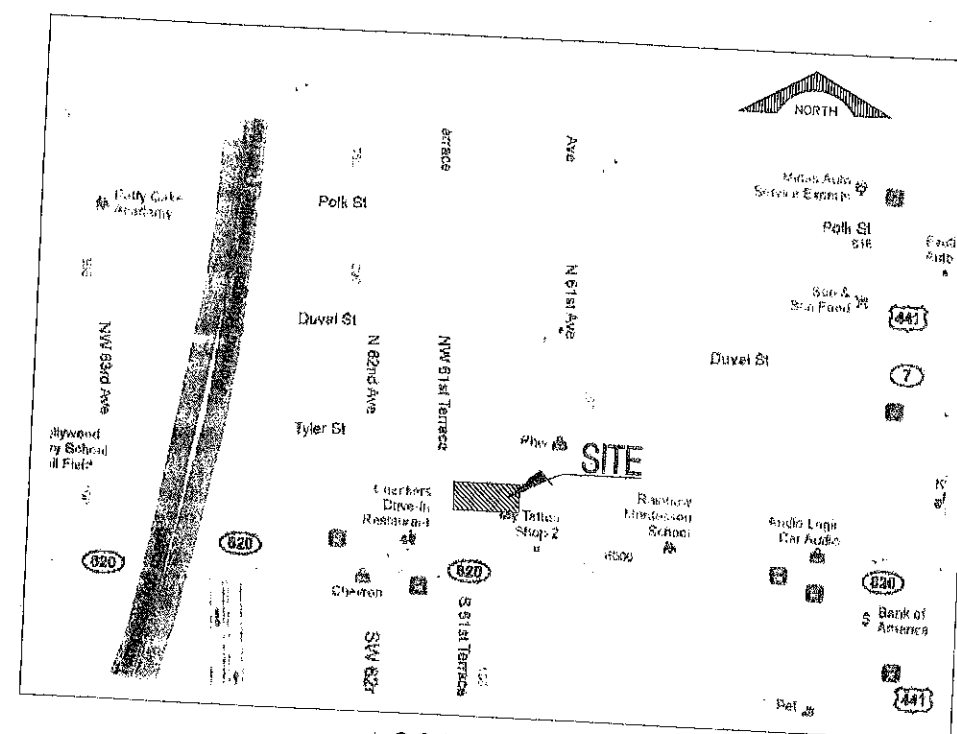
A-4

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Addition to Biele Center

HOLLYWOOD, FLORIDA

CIVIL ENGINEERING PLANS



LOCATION MAP
N.T.S.

SHEET NO.	TITLE
1	COVER SHEET
2	CIVIL ENGINEERING PLAN
3	GENERAL NOTES & CONSTRUCTION DETAILS
4 - 6	PUMP STATION DETAILS

APPROVALS		
AGENCY	APPROVAL DATE	PERMIT NUMBER

DRAWINGS MAY BE OUT OF SCALE DUE TO XEROX REPRODUCTION ERROR.

GGB Engineering, Inc.

CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
• CONSTRUCTION MANAGERS
FLORIDA REGISTRATION No. 8118

2699 Stirling Road, Suite C-202
Fort Lauderdale, Florida 33312

Phone: (954) 986-9899
Fax: (954) 986-6655

PROJECT No. 11-0715
DESIGN DATE: July 2011

ONLY A LICENSED
PE CAN SEAL
NOT VALID UNLESS SIGNED
AND SEALED BY ENGINEER

PAVING & DRAINAGE LEGEND

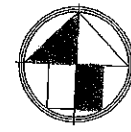
R.E. RIM ELEVATION
 G.E. GRATE ELEVATION
 I.E. INVERT ELEVATION
 --- DENOTES OVERHEAD ELECTRIC
 --- DENOTES EXISTING UTILITY POLE
 --- DENOTES DIRECTION OF OVERLAND FLOW
 P.R.B. POLLUTION RETARDANT BASIN
 F.F. + 18.00 FINISHED FLOOR ELEVATION
 --- EXISTING OR FUTURE UTILITIES
 --- STRUCTURE DESIGNATION
 --- LENGTH, SIZE OF STORM DRAIN
 --- EXISTING GRADE
 --- PROPOSED ASPHALT GRADE
 --- PROPOSED CONCRETE GRADE
 --- DENOTES CONCRETE SIDEWALK
 --- DENOTES TYPE 'D' CURB
 --- DENOTES TYPE 'F' CURB & GUTTER

SEWER LEGEND

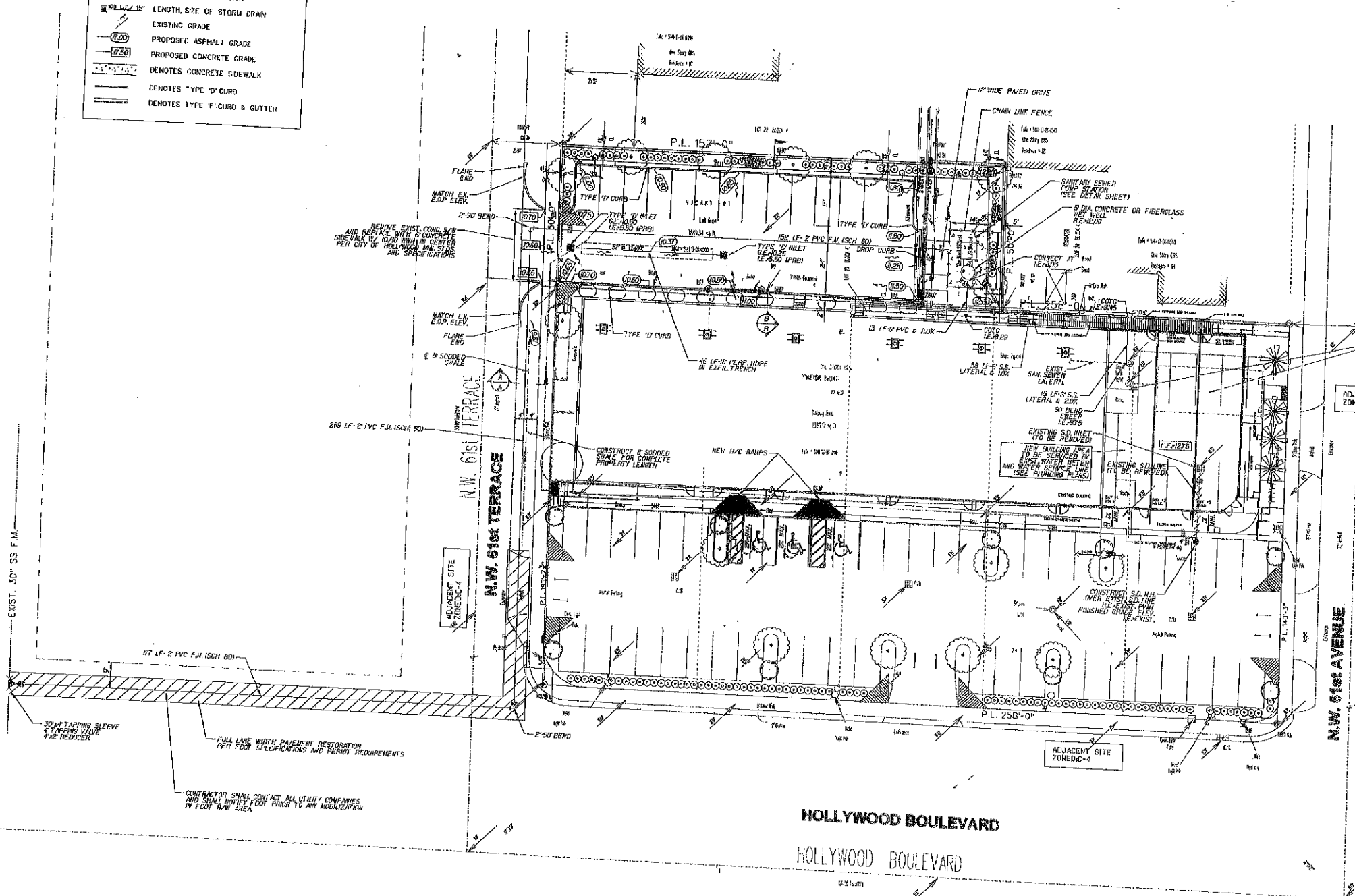
R.E. RIM ELEVATION
 I.E. INVERT ELEVATION
 --- LENGTH & SLOPE OF PIPE
 --- DOUBLE SEWER LATERAL
 --- SINGLE SEWER LATERAL
 --- EXISTING OR FUTURE UTILITIES
 --- CLEAN OUT TO GRADE

LEGEND

--- DIRECTION OF OVERLAND FLOW
 --- EXISTING INFORMATION
 --- PROPOSED INFORMATION
 --- EXISTING GRADE
 --- PROPOSED FINISHED GRADE
 --- PROPOSED FINISHED CONC. GRADE



N.W. 62nd AVENUE



REVISIONS:

1.	2/24/11	FOR CLIENT
2.	2/24/11	FOR COMMENTS
3.		
4.		
5.		
6.		
7.		
8.		

Keller Architects
 2417 Hollywood Boulevard
 Hollywood, Florida 33020-6605
 (954) 920-5746

CLIENT:

Addition to Belle Center

FLORIDA

CIVIL ENGINEERING PLAN

PROJECT:

HOLLYWOOD

TASK:

GGB Engineering, Inc.
 CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
 • CONSTRUCTION MANAGERS
 • FLORIDA REGISTRATION NO. 816
 2800 Sycamore Road, Suite C-202
 Fort Lauderdale, Florida 33312
 Phone: (954) 865-8899
 Fax: (954) 865-8856

DATE:	July 2011	SCALE:	1"=30'
DESIGNED BY:	G.G.B.	DRAWN BY:	F.M.
PROJECT NO.	11-0715		
SHEET	2	OF	6

THIS PLAN IS THE PROPERTY OF GGB ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF GGB ENGINEERING, INC.

GENERAL NOTES

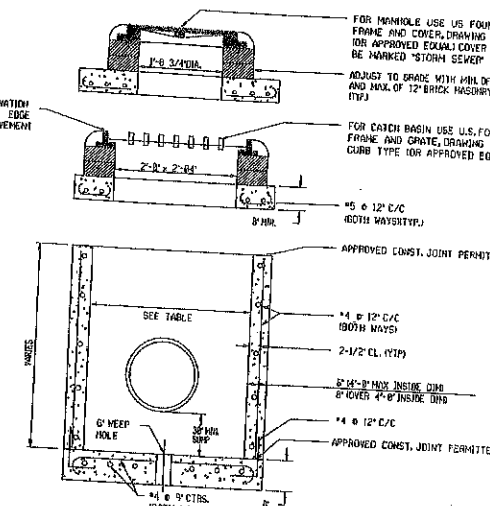
- THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND TOPOGRAPHY HAVE BEEN PROVIDED FOR THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- UNDER FLORIDA STATUTES, THE CONTRACTOR MUST PROVIDE A 48 HOUR NOTIFICATION PRIOR TO ANY OPERATION WHICH WOULD "PERCEIVE THE EARTH'S SURFACE" WITHIN THE RIGHT-OF-WAY OF ANY PUBLIC HIGHWAY OR STATE ROAD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- UNIVERSAL COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES:
 - RED: ELECTRIC
 - YELLOW: GAS
 - ORANGE: COMMUNICATION, CATV
 - BLUE: WATER
 - GREEN: SEWER
 - PINK: SURVEY MARKS
 - WHITE: EXCAVATION
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES:
 - FLORIDA POWER AND LIGHT COMPANY
 - BELL SOUTH
 - COMCAST
 - CITY OF HOLLYWOOD
- ALL ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
- THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF SHOP DRAWINGS FOR APPROVAL TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION OR CONSTRUCTION FOR ALL MATERIALS USED ON THE PROJECT. APPROVED SHOP DRAWINGS FROM THE ENGINEER SHALL THEN BE SUBMITTED TO THE CITY OF HOLLYWOOD FOR THEIR APPROVAL. NO CONSTRUCTION SHALL COMMENCE UNTIL THE APPROVED SHOP DRAWINGS HAVE BEEN OBTAINED BY THE CONTRACTOR FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CATCH BASINS, ETC., AND LANDSCAPED AREAS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY.
- THE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS IN THE AREA AND ANY OTHER UNDERGROUND CONDUIT REQUIRED FOR FPL, BELL SOUTH, TELEPHONE SYSTEM, ETC. PRIOR TO BEGINNING SUBGRADE. THE CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE UTILITY COMPANIES.
- ALL EXISTING UTILITIES SHALL REMAIN ACTIVE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY CASTINGS, INCLUDING VALVE BOXES, JUNCTION BOXES, MANHOLES, HAND HOLES, PULL BOXES, DUCTS AND SIMILAR STRUCTURES IN AREAS OF CONSTRUCTION. ALL ADJUSTMENTS TO BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY.
- THE CONTRACTOR SHALL OBTAIN ANY NECESSARY TREE REMOVAL PERMITS FROM THE CITY OF HOLLYWOOD PRIOR TO COMMENCING WORK.
- PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL SUPPLY THE ENGINEER OF RECORD WITH THE CERTIFICATION THAT ALL CONSTRUCTION AND MATERIALS MEET OR EXCEEDS THE DESIGN AND HAS BEEN INSTALLED PER THE DRAWINGS AND/OR AS-BUILT DRAWINGS.
- COMPLIANCE WITH THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATIONS IN EXCESS OF 5 FOOT DEPTHS.

PAVEMENT MARKING AND SIGNING NOTES

- THERMOPLASTIC SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SEE SECTION 717-MINIMUM THICKNESS 10 MILS (AS-BUILT ONLY).
- ALL MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
- THERMOPLASTIC SHALL BE USED IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE APPROVED BY CITY OF HOLLYWOOD. ALL ON-SITE PAVEMENT MARKINGS SHALL BE REFLECTORIZED PAINT.
- THESE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.
- ALL REFLECTIVE PAVEMENT MARKERS SHALL BE APPROVED BY CITY OF HOLLYWOOD BEFORE INSTALLATION.
- REFLECTORS SHALL BE EQUALLY SPACED BUT NO MORE THAN 3 FEET APART.
- THREE BLUE REFLECTORS SHALL BE PLACED AT ALL FIRE HYDRANT LOCATIONS.

PAVING, GRADING AND DRAINAGE NOTES

- ALL UNSUITABLE MATERIALS, SUCH AS MUCK, MARSH, ORGANIC MATERIAL AND OTHER DEBRIS, SHALL BE REMOVED AND REPLACED WITH A MINIMUM 12" LAYER OF 100% GRADED MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- ALL AREAS SHALL BE CLEARED AND GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE THE COMPLETE REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STAMPS, POSTHOLE, THROUGH THE SURFACE OF THE EXISTING GROUND TO A DEPTH OF 1 FOOT. REMAINS DESIGNATED TO REMAIN OR TO BE RELOCATED OR TO BE ADJUSTED SHALL BE SO DESIGNATED ON THE DRAWINGS.
- FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-2, A-3, OR A-2.4 IN ACCORDANCE WITH AASHTO M-145 AND SHALL BE FREE FROM VEGETATION AND ORGANIC MATERIAL NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL. SHALL PASS THE NO. 200 SIEVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING GEOTECHNICAL MATERIAL TEST CERTIFICATION BY THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FILL MATERIAL TO THE SITE. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITY, PERCENTAGE OF FINES, LIQUIDITY, PLASTICITY, AND OTHER FACTORS AS REQUIRED BY THE ENGINEER OF RECORD.
- ALL MEETS AND PIPES SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT DAMAGE TO THE DRAINAGE SYSTEMS BY ANY OF TEMPORARY PLUGS AND PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEARED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
- WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE, PRIOR TO PROVIDING A STRAIGHT EVEN LINE.
- ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- SITE GRADING ELEVATIONS SHALL BE WITHIN 0.1 FOOT OF THE REQUIRED ELEVATION AND ALL AREAS SHALL BE GRADED TO DEATH.
- ALL SUBGRADE SHALL HAVE AN LBR OF 40, UNLESS OTHERWISE NOTED, AND SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY PER AASHTO T-99.
- ALL LIME ROCK SHALL BE COMPACTED TO 98% PER AASHTO T-100 AND HAVE NO LESS THAN 10% OF CARBONATES OF CALCIUM AND MAGNESIUM, UNLESS OTHERWISE DESIGNATED. ALL LIME ROCK SHALL BE PROVED.
- ASPHALT SHALL BE OF THE TYPE DESIGNATED ON THE DRAWINGS.
- PLASTIC FILTER FABRIC SHALL BE UNPAVED, TYPAR OR EQUAL, CONFORMING TO SECTION 900 OF THE FDOT STANDARD SPECIFICATIONS.
- CONCRETE SIDEWALK SHALL BE 4 INCHES THICK ON COMPACTED SUBGRADE, WITH 1/2 INCH EXPANSION JOINTS PLACED AT A MAXIMUM OF 15 FEET. CRACK CONTROL JOINTS SHALL BE 1/2 INCH ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS OTHERWISE SPECIFIED BY LOCAL CODES, OR SHOWN ON THE DRAWINGS. ALL CONCRETE SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6 INCHES THICK WITH 6" X 6" REINFORCING BARS. ALL CONCRETE SIDEWALKS SHALL BE 6 INCHES THICK WITH 6" X 6" REINFORCING BARS.
- PIPE SPECIFICATIONS: THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:
 - RCP - REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76 CLASS II WALL THICKNESS "B" LATEST EDITION
 - CMP - CORRUGATED METAL PIPE, ASTM DESIGNATION A-106 OR A-133, LATEST EDITION
 - SCP - SLOTTED CONCRETE PIPE, FDOT SECTIONS 941 AND 942
 - PVC - POLYVINYLCHLORIDE PIPE
 - PPR - POLYPROPYLENE PIPE
 - HDPE - HIGH DENSITY POLYETHYLENE, AASHTO M-254 TYPE S
- ASPHALTIC CONCRETE TYPE S SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 333-1 THROUGH 333-6 OF FDOT STANDARD SPECIFICATIONS. ASPHALTIC CONCRETE TYPE S SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 333-1 THROUGH 333-6 OF FDOT STANDARD SPECIFICATIONS.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
- CONCRETE FOR PRECAST MANHOLE AND CATCH BASINS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
- REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO ASTM SPECIFICATION A-615 AND A-603, LATEST EDITION.
- ALL REBAR SPLICES IN CONCRETE STRUCTURES SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS.
- ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATER TIGHT.
- ALL SPACES AROUND PIPES ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2:1 CEMENT MORTAR.
- JOINTS IN CORRUGATED ALUMINUM PIPE SHALL EMPLOY CORRUGATED METAL BANDS OF SIMILAR METAL AND CORRUGATIONS WITH NEOPRENE, RUBBER, OR SYNTHETIC GASKETS INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- REINFORCED CONCRETE PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATION C-76 CLASS II WALL THICKNESS "B" LATEST EDITION, AND AS MODIFIED BY SECTION 941 OF THE FDOT STANDARD SPECIFICATIONS, LATEST EDITION.
- ALL MANHOLE GRATES, RAMPS, AND ACCESS AREAS SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN ROAD & BUILDING BUILDING CODE" AND "ACCESSIBILITY BY HANDICAPPED PERSONS" CHAPTER 503, PART 1, FLORIDA STATUTES, ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
- JOINTS IN HDPE PIPE SHALL BE ADS PRO LINK ST, HANCOX SURE-LOCK OR APPROVED EQUAL.



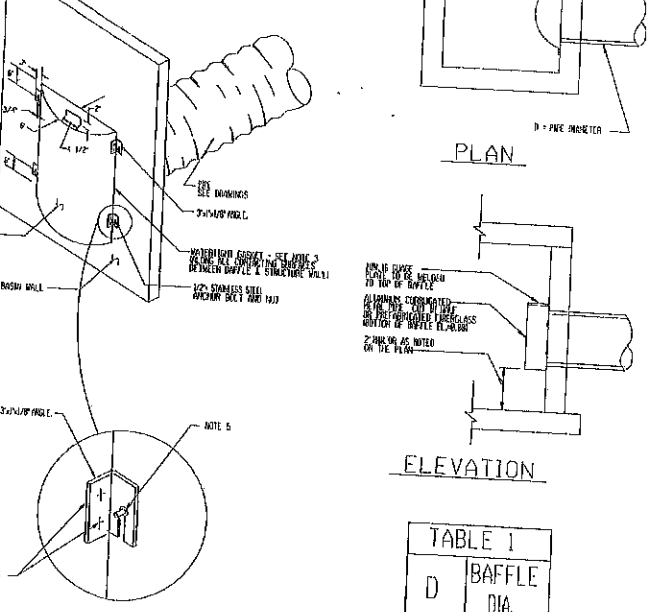
DRAINAGE STRUCTURES

TABLE OF INSIDE DIMENSIONS FOR RECTANGULAR STRUCTURES

STRUCTURE TYPE	INLET	MANHOLE
A	3'-0" X 3'-0"	3'-0" X 3'-0"
B	3'-0" X 4'-0"	3'-0" X 4'-0"
C	3'-0" X 5'-0"	3'-0" X 5'-0"
D	3'-0" X 6'-0"	3'-0" X 6'-0"
E	3'-0" X 8'-0"	3'-0" X 8'-0"
F	3'-0" X 10'-0"	3'-0" X 10'-0"
G	4'-0" X 5'-0"	4'-0" X 5'-0"
H	4'-0" X 6'-0"	4'-0" X 6'-0"
I	4'-0" X 8'-0"	4'-0" X 8'-0"
J	4'-0" X 10'-0"	4'-0" X 10'-0"
K	4'-0" X 12'-0"	4'-0" X 12'-0"
L	5'-0" X 6'-0"	5'-0" X 6'-0"
M	5'-0" X 8'-0"	5'-0" X 8'-0"
N	5'-0" X 10'-0"	5'-0" X 10'-0"
O	5'-0" X 12'-0"	5'-0" X 12'-0"

DRAINAGE STRUCTURES SECTION DETAILS

- NOTE:
1. LOCATION TO BE SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:
 - RCP - REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76 CLASS II WALL THICKNESS "B" LATEST EDITION
 - CMP - CORRUGATED METAL PIPE, ASTM DESIGNATION A-106 OR A-133, LATEST EDITION
 - SCP - SLOTTED CONCRETE PIPE, FDOT SECTIONS 941 AND 942
 - PVC - POLYVINYLCHLORIDE PIPE
 - PPR - POLYPROPYLENE PIPE
 - HDPE - HIGH DENSITY POLYETHYLENE, AASHTO M-254 TYPE S
 2. LOCATION TO BE SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:
 - RCP - REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76 CLASS II WALL THICKNESS "B" LATEST EDITION
 - CMP - CORRUGATED METAL PIPE, ASTM DESIGNATION A-106 OR A-133, LATEST EDITION
 - SCP - SLOTTED CONCRETE PIPE, FDOT SECTIONS 941 AND 942
 - PVC - POLYVINYLCHLORIDE PIPE
 - PPR - POLYPROPYLENE PIPE
 - HDPE - HIGH DENSITY POLYETHYLENE, AASHTO M-254 TYPE S
 3. LOCATION TO BE SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS:
 - RCP - REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76 CLASS II WALL THICKNESS "B" LATEST EDITION
 - CMP - CORRUGATED METAL PIPE, ASTM DESIGNATION A-106 OR A-133, LATEST EDITION
 - SCP - SLOTTED CONCRETE PIPE, FDOT SECTIONS 941 AND 942
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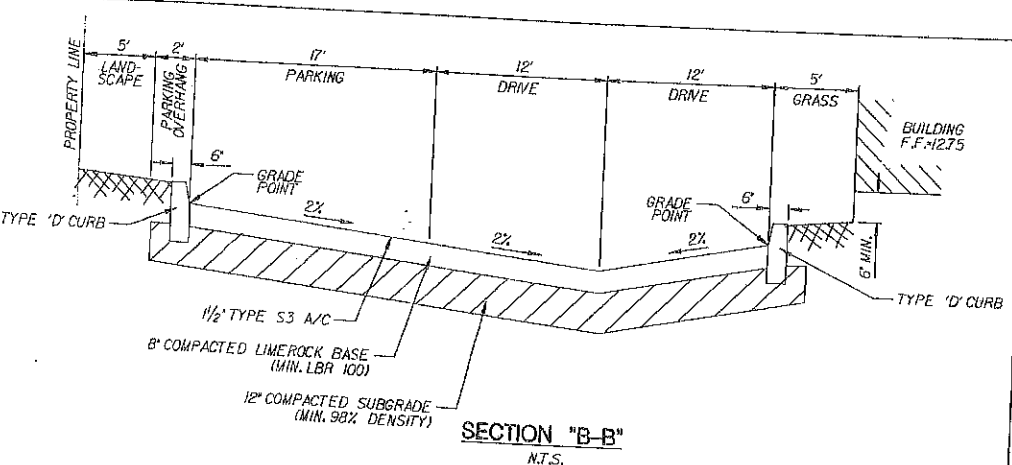
ELEVATION

TABLE 1

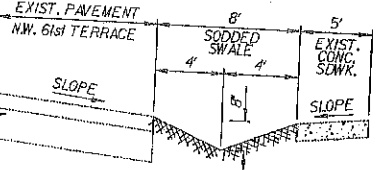
D	BAFFLE DIA.
10'	15'
15'	24'
18'	30'
24'	36'
30'	48'
36'	54'

BRACKET DETAIL

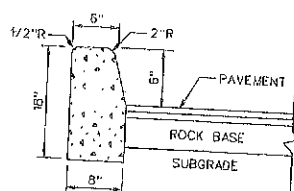
POLLUTION RETARDANT BASIN DEBRIS BAFFLE DETAIL



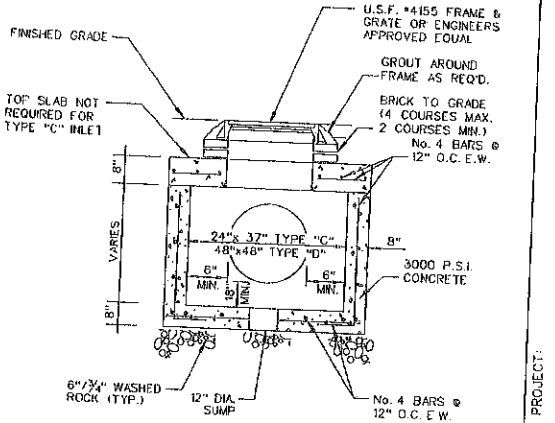
SECTION "B-B"



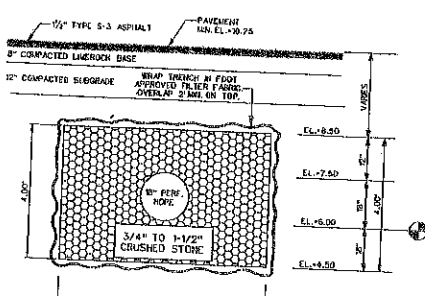
SECTION "A-A"



TYPE "D" CURB



PRECAST INLET DETAIL



TRENCH CROSS SECTION

INLET NOTES

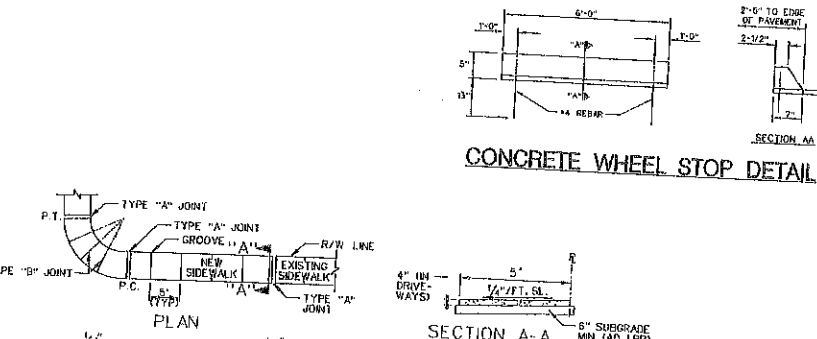
DELIVERED CONCRETE: ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4". FORMATION MATERIAL: WHEN MATERIAL IS USED FOR FORMATION MATERIAL, IT SHALL BE FREE FROM LUMPY MATERIAL, AND SHALL BE SUBGRADE WITH CLEAN SAND. GRATES: CAST FROM IN ACCORDANCE WITH FDOT SPECIFICATIONS. REET TYPES: REET TYPES ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN IN THE DRAWINGS. REET TYPES ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN IN THE DRAWINGS. REET TYPES ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN IN THE DRAWINGS.

MATERIAL: REET TYPES ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN IN THE DRAWINGS. REET TYPES ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN IN THE DRAWINGS. REET TYPES ARE TO BE CONSTRUCTED TO THE DIMENSIONS SHOWN IN THE DRAWINGS.

BACKFILL NOTES

COMPACT TRENCH BACKFILL: 20% MINIMUM 3/4" CLEAN WASHED STONE. 80% MINIMUM 3/4" CLEAN WASHED STONE. 80% MINIMUM 3/4" CLEAN WASHED STONE.

EXFILTRATION TRENCH



CONCRETE WHEEL STOP DETAIL

TYPE "A" (OPEN TYPE JOINTS) (SAWED JOINTS)

- NOTES:
1. ALL CONCRETE SHALL BE 3000 PSI, 4" THICK 6" THICK (MIN.) AT DRIVEWAYS ONLY.
 2. TYPE "A" JOINT TO BE USED AT P.C. AND P.T. OF CURVES AND JUNCTION OF EXISTING AND NEW SIDEWALK.
 3. TYPE "B" JOINT TO BE USED AT 5'-0" CENTER TO CENTER ON SIDEWALKS.
 4. TYPE "C" JOINT TO BE USED WHERE SIDEWALK ADJUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.
 5. SIDEWALK SLOPES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA).
 6. SIDEWALK SHALL BE CONSTRUCTED TO MEET THE ELEVATION OF THE ULTIMATE SECTION.
 7. ALL MUCK AND / OR UNSUITABLE MATERIAL MUST BE REMOVED IN ITS ENTIRETY TO 3 FEET BEYOND LIMITS OF SIDEWALK AND REPLACE WITH CLEAN FILL.

CONCRETE SIDEWALK DETAIL

TYPE "C" (EXPANSION JOINTS)

- NOTES:
1. ALL CONCRETE SHALL BE 3000 PSI, 4" THICK 6" THICK (MIN.) AT DRIVEWAYS ONLY.
 2. TYPE "A" JOINT TO BE USED AT P.C. AND P.T. OF CURVES AND JUNCTION OF EXISTING AND NEW SIDEWALK.
 3. TYPE "B" JOINT TO BE USED AT 5'-0" CENTER TO CENTER ON SIDEWALKS.
 4. TYPE "C" JOINT TO BE USED WHERE SIDEWALK ADJUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES.
 5. SIDEWALK SLOPES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA).
 6. SIDEWALK SHALL BE CONSTRUCTED TO MEET THE ELEVATION OF THE ULTIMATE SECTION.
 7. ALL MUCK AND / OR UNSUITABLE MATERIAL MUST BE REMOVED IN ITS ENTIRETY TO 3 FEET BEYOND LIMITS OF SIDEWALK AND REPLACE WITH CLEAN FILL.

REVISIONS:

NO.	DATE	DESCRIPTION
1		
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7		
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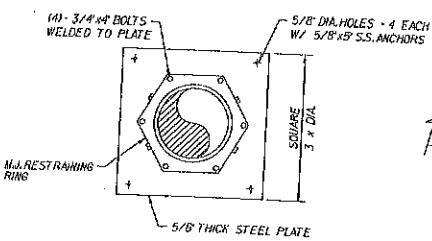
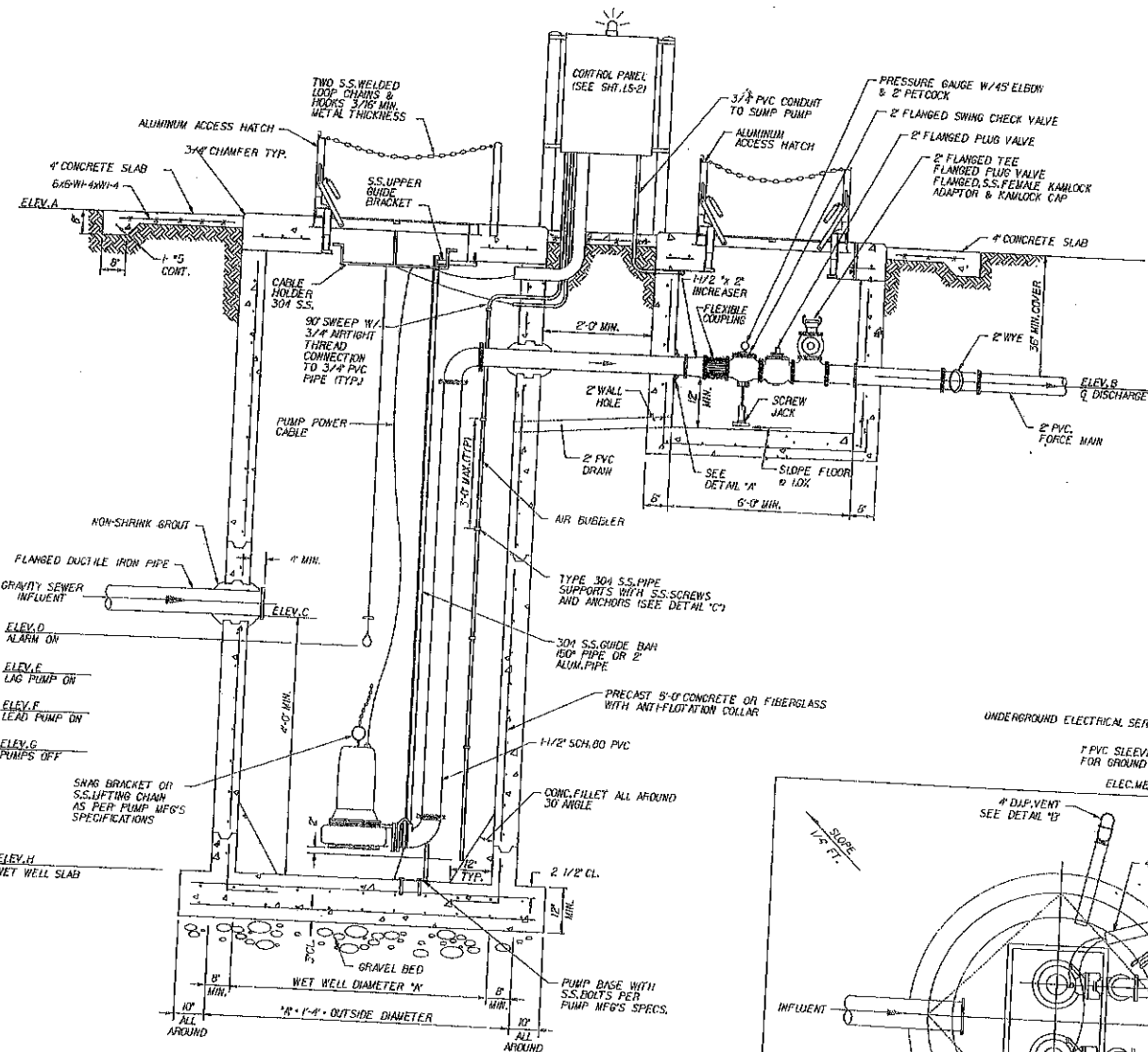
Keller Architects
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

FLORIDA
Addition to Belle Center
HOLLYWOOD
GENERAL NOTES & CONSTRUCTION DETAILS

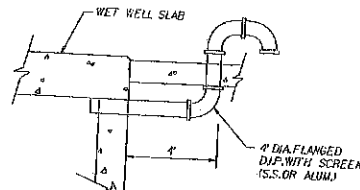
GGB Engineering, Inc.
CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
2800 Spring Road, Suite C-202
Fort Lauderdale, Florida 33302
Phone: (954) 988-8889
Fax: (954) 988-8885

DATE: July 2011
DESIGNED BY: G.G.B.
PROJECT NO. 11-0715
SHEET 3 OF 6

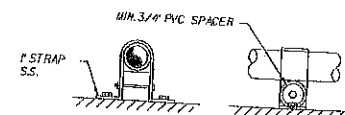
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DRAWN BY: F.M.



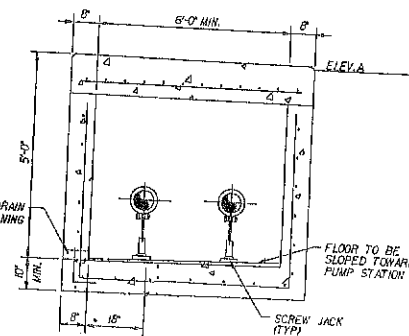
DETAIL "A"



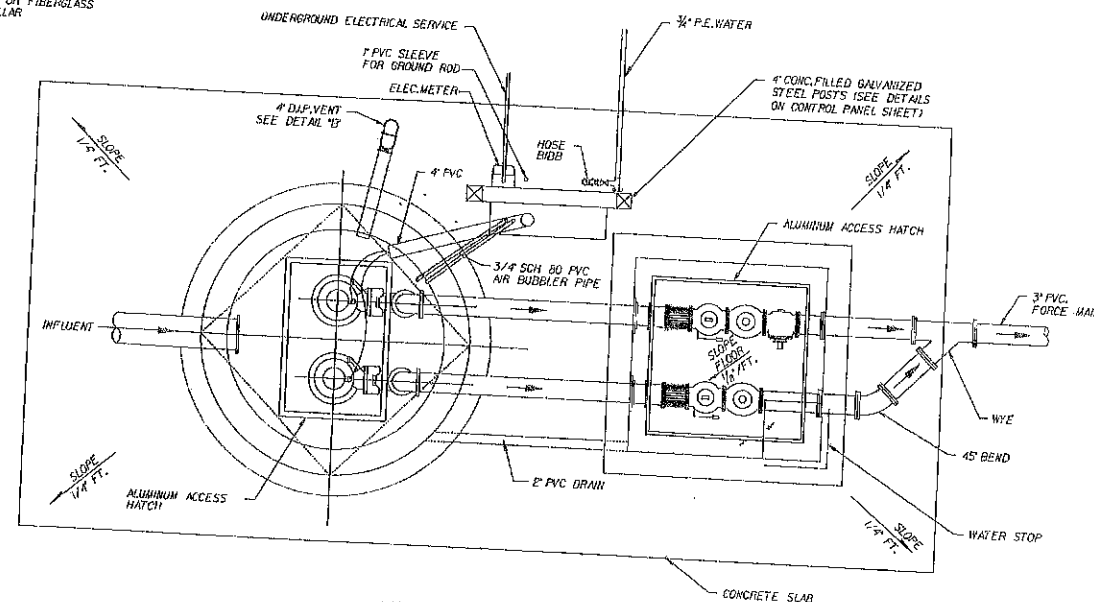
DETAIL "B"



TOP VIEW
SIDE VIEW
DETAIL "C"



VALVE PIT SECTION



LIFT STATION PLAN

PUMP SPECIFICATIONS

2-ABS PIRANHA 08 GRINDER PUMPS
CAPABLE TO DELIVER 12 GPM AT TDH OF 90 FT MAX.
MOTORS SHALL BE 1/2 HP, 3450 RPM CONNECTED FOR
OPERATION OF A 230 VOLT SINGLE PHASE SERVICE
PUMP DISCHARGE SHALL BE 1 1/2" SCH 80 PVC
FORCE MAIN DISCHARGE SHALL BE 2" SCH 80 PVC

PUMPING STATION DATA TABLE		
PUMP CAPACITY	GPM.	12
T.D.H.	FEET	90
PUMP CAPACITY	GPM.	12
T.D.H.	FEET	90
INFLUENT PEAK FLOW	GPM.	12
PUMP CYCLE TIME	MINUTES	15.98
WET WELL DIAMETER "N"	FEET	5
PUMP MODEL		ABS PIRANHA 08
IMPELLER		143mm
B.H.P.		2.4
PUMP EFFICIENCY		73.1%
DISCHARGE PIPE DIAMETER	INCHES	1 1/2
FORCE MAIN DIAMETER	INCHES	1 1/2" P
FINISH GRADE	ELEV. A	1200 NGVD
Q DISCHARGE PIPE	ELEV. B	9.00
INFLUENT PIPE	ELEV. C	8.03
ALARM SIGNAL	ELEV. D	7.89
LAG PUMP ON	ELEV. E	6.89
LEAD PUMP ON	ELEV. F	6.39
PUMPS OFF	ELEV. G	5.75
WET WELL SLAB	ELEV. H	2.75
ELECTRICAL SERVICE	AMP. MIN.	10.80
R.P.M.		3450

1. MASTER GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH THE MANUFACTURER'S MINIMUM SPECIFICATIONS AND ALL APPLICABLE LOCAL AND NATIONAL CODES.
- SHOP DRAWINGS, APPROVED BY THE ENGINEER OF RECORD, SHALL BE SUBMITTED TO THE ENGINEERING SUPPORT SERVICES DIVISION (ESS) OF THE UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.

2. CONSTRUCTION

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH MINIMUM REQUIREMENTS OF THE FLORIDA BUILDING CODE AND PALM BEACH COUNTY UTILITY STANDARDS AS APPLICABLE.

3. CONCRETE

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST FLORIDA BUILDING CODE, AND ACI 318.
- CONCRETE SHALL BE CLASS 4,000 PSI AT 28 DAYS.
- REINFORCEMENT STEEL SHALL BE DEFORMED, NEW BILLET STEEL, ASTM A615 - GRADE 60.
- PIPES, INSERTS AND OTHER METAL OBJECTS SHOWN SHALL BE BUILT INTO, SET IN OR ATTACHED TO THE CONCRETE. ALL HOLES REQUIRED SHALL BE CAST IN THE TIME OF MANUFACTURE.
- PRECAST UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478.
- THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION.
- EXPOSED EDGES OF SLAB SHALL HAVE A 3/4" CHAMFER.
- PAIN INSIDE AND OUTSIDE OF LIFT STATION AND ALL UNDERGROUND CONCRETE STRUCTURES WITH 2 COATS OF QUANTUM POLYMERIC RESIN OR APPROVED EQUAL.

4. METALS AND HARDWARE

- ALUMINUM ACCESS HATCHES TO BE MANUFACTURED BY BILCO OR APPROVED EQUAL WITH ALL STAINLESS STEEL HARDWARE, INCLUDING AUTOMATIC HOLD OPEN ARMS, HORIZONTAL COMPRESSION SPRINGS, WATER TIGHT SLAM LOCK AND RECESSED PADLOCK, SAFETY CHAINS AND HINGES TO BE ATTACHED USING TAMPER PROOF CARTRIDGE BOLTS WITH WELDED NUTS.
- ALL FASTENERS, BRACKETS AND OTHER HARDWARE SHALL BE 304 STAINLESS STEEL.

5. PUMPS AND MOTORS

- SUBMERSIBLE PUMPS AND CONTROLS TO BE ABS OR APPROVED EQUAL.
- EACH PUMP DISCHARGE PIPING SHALL INCLUDE A PRESSURE GAUGE ASSEMBLY.
- PUMP BASE - PERMANENT ANCHORING PER MANUFACTURER'S SPECIFICATIONS. ALIGNMENT OF PUMPS RELATIVE TO OPENING AS PER MANUFACTURER'S SPECIFICATIONS.

6. PIPING AND VALVES

- FORCE MAIN TO BE D.I.P. CLASS 52 UP TO 6" DIAMETER.

NOTE:
LIFT STATION SHALL BE PRIVATELY OWNED AND MAINTAINED.

REVISIONS:

1.	07/20/11	PER COMMENTS
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DATE: OCT. 25, 2011

PROJECT: **Addition to Belle Center**

LOCATION: **FLORIDA**

TASK: **PUMP STATION DETAILS**

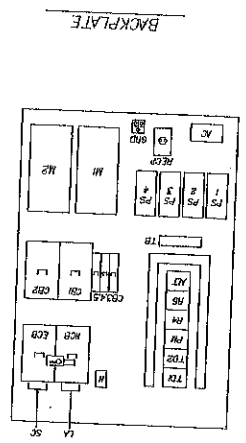
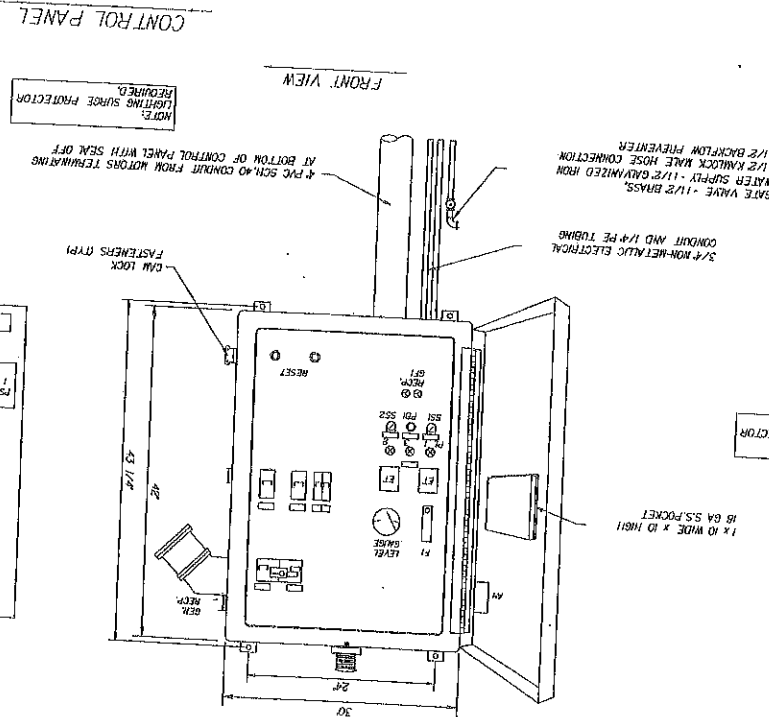
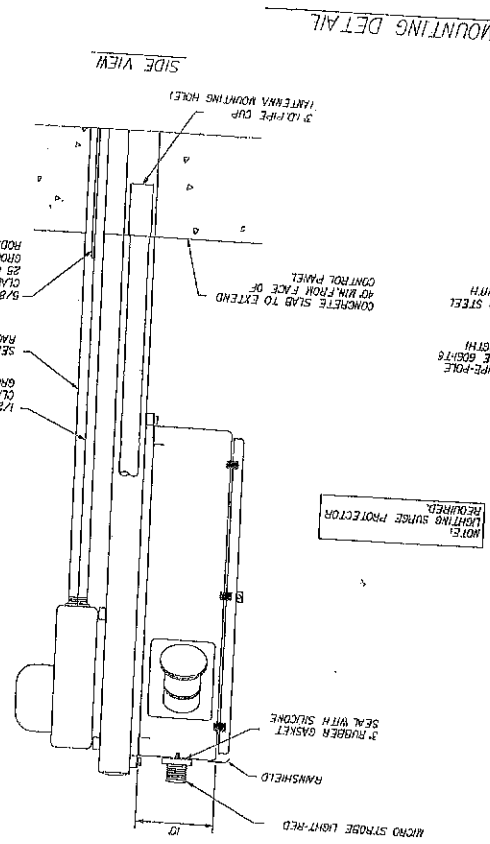
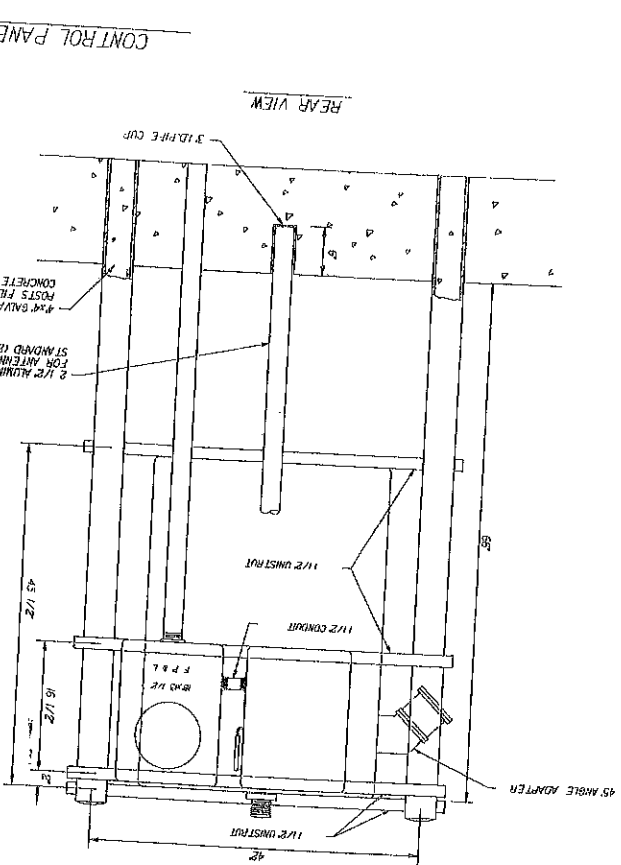
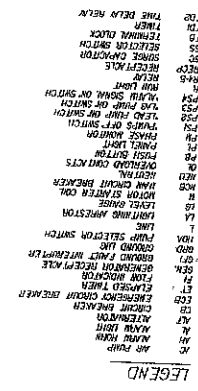
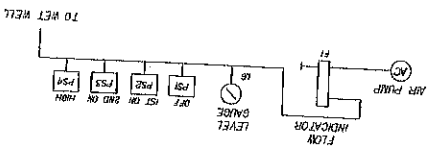
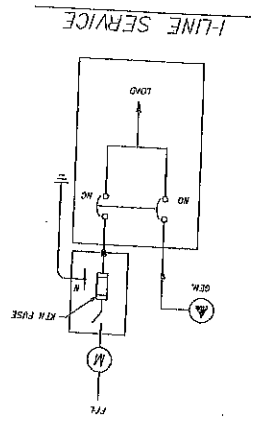
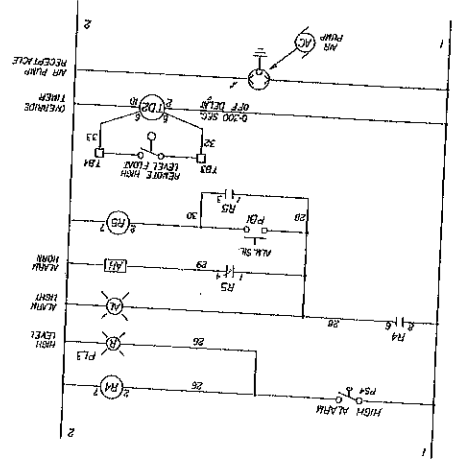
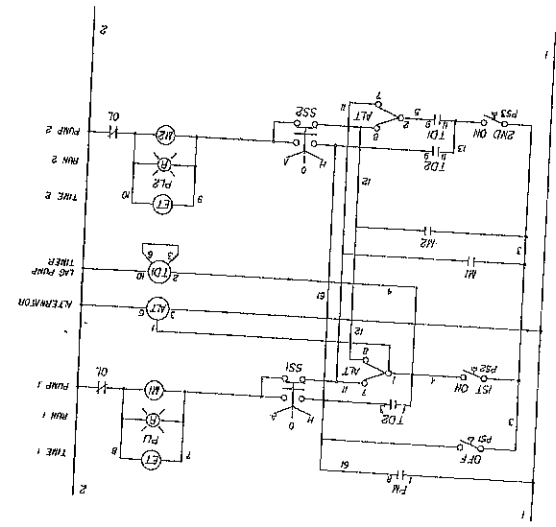
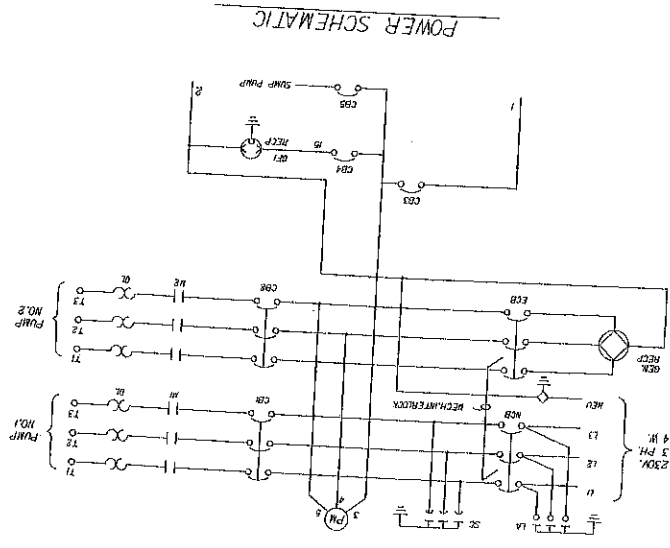
Keller Architects
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

GGB Engineering, Inc.
CIVIL AND FORECASTING ENGINEERS • LAND PLANNERS
2609 Shiloh Road, Suite C-202
Fort Lauderdale, Florida 33322
Phone: (954) 885-8888
Fax: (954) 885-8888


DATE: July 2011
DESIGNED BY: G.C.B.
PROJECT NO. 11-0715
SHEET 4 OF 6

SCALE: N.T.S.
DRAWN BY: F.M.
PROJECT NO. 11-0715
SHEET 4 OF 6

GARY S. BLONK, P.E.
15445 N.W. 10th Ave.
NOT VALID UNLESS SIGNED
AND SEALED BY ENGINEER



DATE:	JULY 2011	DESIGNED BY:	C.G.B.	PROJECT NO	11-0715	SHEET	6
SCALE:	N.T.S.	DRAWN BY:	F.M.				


GCB Engineering, Inc.
 CIVIL AND FORENSIC ENGINEERS • LAND PLANNERS
 • CONSTRUCTION MANAGERS
 • FEDERAL REGISTRATION NO. 818

2809 Sharkey Road, Suite C-202
 Fort Lauderdale, Florida 33312

Phone: (954) 995-0989
 Fax: (954) 995-0957

PROJECT:	ADDITION TO B&B CENTER
TASK:	HOLLYWOOD FLORIDA
	PUMP STATION DETAILS

CLIENT:
Kaiser Architects
2417 Hollywood Boulevard
Hollywood, Florida 33020-6605
(954) 920-5746

REVISIONS:

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____

ATTACHMENT B
Land Use & Zoning Map

6117 Hollywood Boulevard



PLANNING AND
DEVELOPMENT SERVICES

Legend

- Subject Property
- Streets

Zoning

- C-4
- RM-12
- RM-18
- SR7 CCD-CC

Land Use

- Transit Oriented Corridor

